



**TENTATIVE AGENDA
JULY 8, 2026 7:00 P.M.
ARCHITECTURAL REVIEW BOARD**

The ARB meeting will follow the conclusion of the Plan Commission Meeting, which starts at 6 p.m.

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- I. MEETING CALLED TO ORDER
 - II. ROLL CALL
 - III. APPROVAL OF MINUTES: JUNE 10, 2026
 - IV. REVIEW OF PLANS FOR A NEW HOME, BENCHMARK HOMES, 1175 HILLARD ROAD
 - V. MISCELLANEOUS
 - VI. ADJOURNMENT

Gabrielle Macaluso
Community Engagement Officer

POSTED: 3 p.m., July 2, 2026



MINUTES
ARCHITECTURAL REVIEW BOARD MEETING
JUNE 10, 2026 – 6:00 p.m.

CALL TO ORDER

A meeting of the Architectural Review Board (ARB) of the City of Glendale was held on Wednesday, June 10, 2026. Chairman Fernhoff presided and called the meeting to order at 6:00 p.m.

ROLL CALL

<u>Members Present</u>	<u>Members Absent</u>
Chairman Fernhoff	Laura Switzer
Brad Weitekamp	John Falk
Mike Moran	
Reed Voorhees	
Jon Emert	

Also present were Frank Johnson, City Administrator; Kori Neely, City Engineer; Gabby Wesche, Community Engagement Officer; and Kate Henry, City Attorney.

APPROVAL OF MINUTES

Mr. Moran moved to approve the minutes from the May 13, 2026, meeting with one change:

- The phrase “is allowed” should be “could be acceptable” in the last sentence of paragraph two in the Architecture section.

The motion was seconded by Mr. Weitekamp and unanimously carried.

REVIEW OF PLANS FOR A GARAGE ADDITION – Chris and Tracy Lawhorn, 17 Edwin Ave.

Chairman Fernhoff introduced the project at 17 Edwin Ave. and invited the applicant to present. The project was presented by the homeowners, Chris and Tracy Lawhorn, and their builder, Kevin Franklin.

Drainage

Mr. Johnson noted that there were several rounds of revisions for the drainage plans and that there is an existing stormwater inlet located at the rear of the property.

The applicant noted that the downspouts would be directed to drain directly into the drywell and piped mostly under the driveway. The ARB asked the applicant to consider relocating the downspout on the northwest corner of the garage to the southwest corner of the garage and piping it into the drywell.

Ms. Neely reviewed the capacity of the drywell and noted that it was acceptable.

Mr. Moran directed the applicant to have their engineer review the size of the area drain to ensure it is appropriately sized for the anticipated water volume.

Mr. Moran confirmed with the applicants that the drywell would receive sheet flow from the concrete area and that the roof drainage would be conveyed by pipe directly to the stormwater inlet.

Mr. Weitekamp noted that the drainage plans need a clearer outlet pipe label. He recommended that the observation well serve as an area drain rather than a pop-up emitter because the pop-up outlet would likely never activate, as it is at a higher elevation than the outlet pipe.

Ms. Neely thought that Mr. Weitekamp's recommendation made sense.

Mr. Weitekamp suggested that the engineer verify the elevations of the drywell inlet and outlet pipes to ensure the outlet pipe is lower than the inlet pipe.

Mr. Johnson asked Ms. Neely whether MSD would require a permit if the applicants chose to connect directly to the stormwater inlet.

Mr. Johnson outlined the process to the applicant. He said that after the ARB's conditions are met, the applicant would then apply for municipal zoning approval through the City of Glendale before applying for building permits through St. Louis County.

Mr. Johnson noted that if the applicant intends to connect directly to the MSD storm inlet for drainage, the City would need documentation showing that the plans had been submitted to MSD and that MSD had approved the connection.

Mr. Moran clarified that obtaining MSD approval was a procedural matter if the applicants chose to connect directly to the storm inlet and was not a condition of the ARB approval.

Landscaping

Mr. Weitekamp said he doesn't see any details other than the term tree cluster on the plans. He asked whether the tree cluster included any mature trees.

The applicant responded that it did not. They clarified that no trees would be removed or impacted and described the vegetation as more of a large weed cluster than mature trees.

Mr. Weitekamp said that based on this information and his visual assessment of the property, he would not require an arborist report.

Mr. Moran asked whether there was a paved area between the driveway and the stairs. The applicants confirmed that the pavement was existing. Ms. Neely asked whether there was a ditch along the west side of the property. The applicants confirmed that there is a ditch. Ms. Neely wanted to ensure that the applicants were not planning to fill the ditch.

The applicants explained that the existing garage regularly takes on water, which is why the new garage would be constructed at a slightly higher elevation.

Mr. Johnson stressed that the goal is to not displace water onto neighboring properties and create a flooding issue.

Architecture

Mr. Moran noted that he liked the design, but he would like to see windows or other compositional features to break up the wall of vinyl on the west facade.

The applicant explained that the house located behind the property has been vacant and there are trees behind the west façade. They also expressed safety concerns with having windows in an area that's not very visible or well-traveled.

Mr. Moran acknowledged that there are trees there now, but in the future trees may be cut down and the house may be occupied. He noted that the windows could be located high up on the wall to address the safety concerns. He also said that some compositional detail other than windows could be put in place to break up the façade.

Mr. Voorhees confirmed that the siding will match the siding on the house. He also supported adding compositional details to the west façade to make the wall look more residential and less commercial.

Public Comment

Chairman Fernhoff asked for public comment. The applicant's neighbor, Jon Tchen of 21 Edwin Ave., noted that he would like to see the existing ditch regraded or deepened because sediment had accumulated in the ditch over the years. He said that the ditch was deeper when MSD put it in 20 years ago and it was more effective for stormwater mitigation. Mr. Tchen said that it would be a great favor if MSD or the applicant could dig the ditch deeper.

Chairman Fernhoff asked if MSD would be okay with doing that.

Mr. Moran noted that the excavation for the garage footings could provide an opportunity to address the ditch regrading.

Mr. Tchen asked if the ARB knew when the MSD work would happen. Mr. Johnson clarified that MSD does not have the ditch regrading planned. Mr. Moran clarified that the contractor would have an opportunity to do the work.

Mr. Moran moved to approve the applicant’s design with the following conditions:

- Relocate the northwest corner downspout to the southwest corner to the southwest and direct to drywell.
- Clarify the capacity of the 12-inch inlet to receive the volume of surface water off the driveway.
- Include windows or some compositional details on the west wall of the garage.

The motion was seconded by Mr. Voorhees. The motion passed with a vote of 5 “Aye,” 0 “Nay,” and 2 Absent. The vote was as follows:

Reed Voorhees	“Aye”
Brad Weitekamp	“Aye”
Mike Moran	“Aye”
Jeff Fernhoff	“Aye”
Jon Emert	“Aye”
John Falk	Absent
Laura Switzer	Absent

REVIEW OF PLANS FOR A NEW HOME – D&R Building Group, 814 Alexandra Ave.

Chairman Fernhoff introduced the project at 814 Alexandra Ave. and invited the applicant to present. The project was presented by architect Joe Schlag with Srote and Co., contractor Leonard Adewunmi with D&R Building Group, and project manager Austin Bosecker with Srote and Co.

Mr. Schlag explained that the proposed new home features two stories with a detached 2-car garage and square footage of 2,700.

Drainage

The applicant noted that every downspout is being piped into the drywell.

Mr. Emert asked if there’s an existing fence on the east side of the driveway as the plans indicate. The applicant said yes.

Because the plans call for the driveway with a concrete curb to be located up to the eastern property boundary, thereby causing a conflict of location with the existing fence, the ARB discussed with the applicant the need communicate with the neighboring property owner.

Mr. Johnson asked the applicant if they spoke with the property's rear neighbor located at 799 Glenway Dr. The applicant said that they had not spoken with her. Mr. Johnson explained that the neighbor stopped by City Hall to express concerns about her fence and property lines. She said that the survey flag was in her garden, so she believes that this portion of the property belongs to her and is concerned about her fence. The ARB encouraged the applicant to communicate with the rear neighbor to clarify property boundaries and fences to avoid issues for the future owner.

Ms. Henry stressed that the ARB is not providing the applicant legal advice, but she recommended that they speak to their attorney about any property boundary issues.

Mr. Moran advised the applicant to not put the air conditioner units in the side yard. He advised that it be located at the rear of the home as a matter of design even if it's not a violation of the setback rules.

Mr. Voorhees asked why the finished floor of the proposed house is a foot higher than the finished floors of the neighboring houses. Mr. Schlag thought it was because the proposed house extends further back on the property than the neighbors and with the incline of the property elevation, there wouldn't be enough room for the finished floor if the front of the house were a foot lower. Mr. Schlag said he would check with the project's civil engineer.

Landscaping

Mr. Weitekamp said he thought the ideas reflected in the landscape information are good, but they need to be formalized and incorporated into a drawing set. The tree study can't serve as the landscape plan. He encouraged the applicant to go through the landscaping checklist in the Community Design Guidelines.

Mr. Weitekamp advised that the applicant reconsider tree locations as some are too close to the utility lines and stormwater infrastructure. For example, Tree 2 is too close to the gas line and Tree 1 is close to a pop-up emitter and isn't a tree species that can handle constant water on it.

Mr. Voorhees returned to the discussion of the finished floor elevations. After looking more closely at the property, he questioned whether the proposed finished floor was one foot higher than the neighboring homes simply because the house extends farther back on the lot. The applicant said he would check with his civil engineer. Mr. Weitekamp suggested that the higher elevation might be intended to prevent water from infiltrating the home.

Mr. Weitekamp said he's curious to know how water behaves on the property, especially during very heavy rain.

Mr. Moran asked how the applicant is going to treat the south end of the driveway to allow the surface water to come onto it and continue flowing to the street. The applicant said that the concrete curb on the east side will encourage water to drain to street.

The applicant said that he's using the driveway as a swale. Mr. Moran stressed the importance of grading the driveway so that it functions this way.

Mr. Weitekamp asked the applicant if they would consider extending the curb only to the back edge of the garage to keep the water flowing onto the driveway. He suggested that the applicant consider pulling the curb back until it dies into grade to encourage the water to flow down the driveway instead of flowing around and onto the neighbor's property.

Architecture

Mr. Emert confirmed with the applicant that they intend to use vinyl siding.

The ARB said they discourage the use of vinyl siding especially for new construction. The applicant said they would be willing to use Hardie board.

Mr. Voorhees stated that the north and south elevations are nicely articulated and feature nice materials; however, the details are lost on the side elevations with the west elevation being the plainest.

Mr. Moran liked the rear-facing facade, but recommended that they reflect the same board-and-batten design on the garage southside gable to break up the elevation and moderate scale.

Mr. Emert noted that the ARB requires glass in the garage doors.

Public Comment

There was no public comment.

Mr. Moran moved to approve the applicant's design with the following conditions:

- Provide landscape plan as described in the Community Design Guidelines and resolve utility conflicts with trees in the front yard.
- Investigate lowering the first-floor elevation by up to one foot if possible, with engineering.

- Extend the driveway curb south along the property line to the south corner of the garage (plus or minus).
- Propose high-quality material from the approved materials list for the house and garage siding.
- Revise the siding material to the board-and-batten design on the garage southside gable.
- Add glass to the top row of panels in the garage door.

The motion was seconded by Mr. Voorhees. The motion passed with a vote of 5 “Aye,” 0 “Nay,” and 2 Absent. The vote was as follows:

Reed Voorhees	“Aye”
Brad Weitekamp	“Aye”
Mike Moran	“Aye”
Jeff Fernhoff	“Aye”
Jon Emert	“Aye”
John Falk	Absent
Laura Switzer	Absent

REVIEW OF PLANS FOR A NEW HOME – Jason and Michelle Fank, 785 Bismark Ave.

Chairman Fernhoff introduced the project at 785 Bismark Ave. and invited the applicant to present. The project was presented by Nick Liuzza with NJL Custom Homes

Mr. Johnson explained that the property has received a total of four variances including:

1. Construction of a new residence with a height of up to 38.89’. This was granted by the Board of Adjustment in November of 2025.
2. Construction of a garage with a height of up to 29.3’. This was also granted at the November 2025 meeting.
3. Construction of a new residence and garage that would have a total encroachment not to exceed 990 square feet in the 25’ vegetative buffer required by the City’s Stream Buffer Protection ordinance and a total encroachment not to exceed 3,335 square feet in the 25’ impervious surface buffer. This was granted by the Board of Adjustment in May of 2026.
4. Construction of a new residence that would encroach into the front yard setback of 42.5 by not more than 3.35’. This was granted by the Board of Adjustment in conjunction with stream buffer variance, as moving the home forward allows for a lesser intrusion into the 50’ stream buffer area.

Drainage

The ARB asked if the detached garage is designed to house two or three cars. The applicant clarified two cars and noted that they would clarify that on the plans.

Brad Weitekamp	“Aye”
Mike Moran	“Aye”
Jeff Fernhoff	“Aye”
Jon Emert	“Aye”
John Falk	Absent
Laura Switzer	Absent

ADJOURN

Mr. Moran moved to adjourn the meeting at 7:30 p.m. The motion was seconded by Mr. Emert, and unanimously carried to adjourn the meeting.

[View Online Request](#)

[View Audit Trail](#)

Creation Date: 6/15/2026

Submitted Date: 6/16/2026

Accepted Date: 6/16/2026

City of Glendale Architectural Review Board

Online Request #: 3458803

Project #: 2026-89

Submitted by:

Jeff Brinkmann

jeff@benchmarkstl.com

Location: **1175 Hillard**

City: **Glendale** State: **MO** Zip: **63122**

Contact Information

Applicant's Contact Information

Title: First Name: **Jeff** Last Name: **Brinkmann** Suffix:

Business Name: **Benchmark Homes**

Mailing Address: **13281 Spindle Lane St. Louis, MO 63122**

City: **St. Louis** State: **MO** Zip: **63122**

Email Address: **jeff@benchmarkstl.com**

Cell Phone: **(314) 749-7750** Work Phone: **(314) 909-7593** Home Phone:

Property Owner's Contact Information

Title: First Name: **Benchmark** Last Name: **Homes** Suffix:

Business Name: **Benchmark Homes**

Mailing Address: **13281 Spindle Lane St. Louis, MO 63122**

City: **St. Louis** State: **MO** Zip: **63122**

Email Address: **jeff@benchmarkstl.com**

Cell Phone: **(314) 749-7750** Work Phone: **(314) 909-7593** Home Phone:



You can complete this application and view updates online at MGO Connect

Contractor's Contact Information

Title: First Name: Benchmark Last Name: Homes Suffix:

Business Name: Benchmark Homes

Mailing Address: 13281 Spindle Lane St. Louis, MO 63122

City: St. Louis State: MO Zip: 63122

Email Address: jeff@benchmarkstl.com

Cell Phone: (314) 749-7750 Work Phone: (314) 909-7593 Home Phone:

Architect's Contact Information

Title: First Name: John Last Name: Odom Suffix:

Business Name: JSO Services, LLC

Mailing Address: P.O. BOX 410394

City: St. Louis State: MO Zip: 63141

Email Address: john@johnsodom.com

Cell Phone: (417) 343-2602 Work Phone: (417) 343-2602 Home Phone:

Application Questionnaire (* denotes required question)

Residential Architectural Review Board

Description of Work * Demo existing house at 1175 Hillard Road.
Construct a new 2-story Single Family
Residence.

Cost of Construction * 750000



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Floor Area Ratio *	<u>29.8</u>
<p>FAR = Gross Floor Area divided by total area of lot. Gross Floor Area includes all areas provided with heat and/or air conditioning. Includes all conditioned half stories with ceiling heights of more than 5 feet. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).</p>	
Total Square Footage of Lot *	<u>9766</u>
Width of Lot *	<u>60' / 78'</u>
Depth of Lot *	<u>126.46' / 125'</u>
Total Floor Area of New Construction *	<u>2920</u>
Total Floor Area of Existing Structure *	<u>1752</u>
Height of Structure *	<u>29.75</u>
Number of Stories *	<u>2</u>
Estimated Commence Date *	<u>08/10/2026</u>
Estimated Completion Date *	<u>07/30/2027</u>
Do you want a Preliminary Review with the ARB? *	<u>No</u>



You can complete this application and view updates online at MGO Connect

Documents Uploaded

The following documents are attached to the Application.

Aerial Photo Plan	1175 hillard aerial photo plan.pdf
Architectural Plans	architectural packet.pdf
Existing and adjoining property photos	front and rear photos.docx
Landscaping Plan	landscape plan.pdf
Site Survey and Civil Plans	site plan revd 6.16.26.pdf
Tree Study/Arborist Report	1175 hillard tree survey.pdf

Comments



You can complete this application and view updates online at [MGO Connect](#)

LEGEND

DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	---500---
EXISTING MINOR CONTOUR	---502---
PROPOSED MAJOR CONTOUR	—504—
PROPOSED MINOR CONTOUR	—502—
PROPOSED SPOT ELEVATION	+502.00
EXISTING SANITARY SEWER	—●—
EXISTING STORM SEWER	—□—
PROPOSED SANITARY SEWER	—●—
PROPOSED STORM SEWER	—■—
EXISTING WATERLINE	—W—
EXISTING FIRE HYDRANT	—●—
EXISTING GAS LINE	—G—
EXISTING OVERHEAD UTILITY	—OW—
USE IN PLACE	(U.I.P.)
ADJUST TO GRADE	(A.T.G.)
TO BE REMOVED	(T.B.R.)
TO BE REMOVED AND REPLACED	(T.B.R.&R.)
TO BE REMOVED AND RELOCATED	(T.B.R.&REL.)

FF = FINISHED FLOOR ELEVATION
 TF = TOP OF FOUNDATION ELEVATION
 BF = BASEMENT FLOOR ELEVATION
 GF = GARAGE FLOOR ELEVATION
 CO = CLEAN OUT
 DS = DOWNSPOUT
 TW = FINISHED GRADE AT TOP OF WALL
 BW = FINISHED GRADE AT BOTTOM OF WALL

PROJECT DATA

LOCATOR NO. : 23L440552
 ADDRESS : 1175 HILLARD ROAD
 GLENDALE, MO 63122
 OWNER : BENCHMARK CUSTOM HOMEBUILDERS INC.
 AREA OF TRACT : 9,766 S.F. (0.224 AC.)
 PRESENT ZONING : R-2
 PRESENT USAGE : SINGLE FAMILY RESIDENCE
 PROPOSED USAGE : SINGLE FAMILY RESIDENCE
 SCHOOL DISTRICT : KIRKWOOD
 FIRE DISTRICT : GLENDALE
 WATERSHED(S) : RIVER DES PERES
 FIRM PANEL : 29189C0309K
 UTILITIES : MISSOURI-AMERICAN WATER CO.
 : METRO. ST. LOUIS SEWER DIST.
 : SPIRE / LACLEDE GAS COMPANY
 : AT&T TELEPHONE COMPANY
 : AMEREN UE

SITE PLAN

1175 HILLARD ROAD

THE WEST 45 FEET OF LOT 14 + THE EAST 33 FEET OF LOT 13
 OF 'IDLEWILD SUBDIVISION', PLAT BOOK 36 PAGE 29,
 CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI

SITE COVERAGE

	AREA (S.F.)	AREA (AC.)	PERCENTAGE
TOTAL SITE	9,766	0.224	
EXISTING IMPERVIOUS	2,907	0.067	29.8%
PROPOSED IMPERVIOUS	3,573	0.082	36.6% *
CHANGE	+666	+0.015	+6.8%
FRONT YARD SETBACK	2,341	0.054	
EXISTING IMPERVIOUS	727	0.017	31.1%
PROPOSED IMPERVIOUS	654	0.015	27.9% **
CHANGE	-73	-0.002	-3.2%

* NO MORE THAN 55% ALLOWABLE PER SECTION 3B
 ** NO MORE THAN 45% ALLOWABLE PER SECTION 3B

- PROPOSED BUILDING (2,603 S.F.)
 (ROOF = 2,834 S.F.)
- PROPOSED PAVEMENT (1,240 S.F.)
 AND WALLS

YARD SETBACK REQUIREMENTS

FRONT: 31.15' (AVERAGE OF ADJACENT HOUSES)
 SIDE: 7'
 REAR: 30'

DIFFERENTIAL RUNOFF

DESIGN STORM: 15-YEAR 20-MINUTE
 4.20 CFS/AC ROOF SURFACE
 3.54 CFS/AC. PAVED SURFACE
 1.70 CFS/AC. PVIOUS SURFACE

EXISTING CONDITIONS:
 ROOF - 1,951 S.F. x 4.20 / 43,560 = 0.19
 PAVED - 1,186 S.F. x 3.54 / 43,560 = 0.10
 OPEN - 6,629 S.F. x 1.70 / 43,560 = 0.26
 TOTAL Q = 0.55 CFS

PROPOSED CONDITIONS:
 ROOF (HOUSE)* - 2,892 S.F. x 4.20 = 0.28
 PAVED - 1,201 S.F. x 3.54 = 0.10
 OPEN - 6,008 S.F. x 1.70 = 0.23
 TOTAL Q = 0.61 CFS

NET INCREASE OF 0.06 CFS
 *—MEASURED FROM ARCH PLANS, INCLUDES GUTTERS

STORM WATER CALCULATIONS

DESIGN STORM: 15-YEAR 20-MINUTE
 4.20 CFS/AC. ROOF SURFACE
 3.54 CFS/AC. PAVED SURFACE
 1.70 CFS/AC. PVIOUS SURFACE

FOR NEW CONSTRUCTION, THE RUNOFF FROM THE ENTIRE ROOF AREA IS TO BE COLLECTED AND DETAINED.

PROPOSED ROOF AREA: HOUSE = 2,892 S.F.
 RUNOFF = 2,892 S.F. x 4.20 CFS/AC. / 43,560 = 0.28 CFS

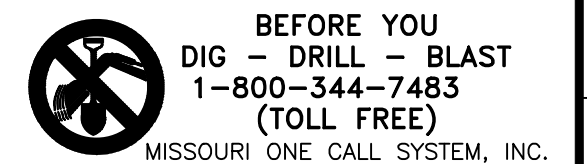
RUNOFF VOLUME TO BE DETAINED:
 0.28 CFS x 60 S/MIN x 20 MIN = 336 C.F.

VOLUME OF PROPOSED DRY WELL:
 16.5' x 10' x 5' x 40% VOIDS = 330 C.F.
 PLUS FOUR 50 GAL FLO-WELLS x 60% = 16 C.F.
 TOTAL VOLUME PROVIDED = 346 C.F.

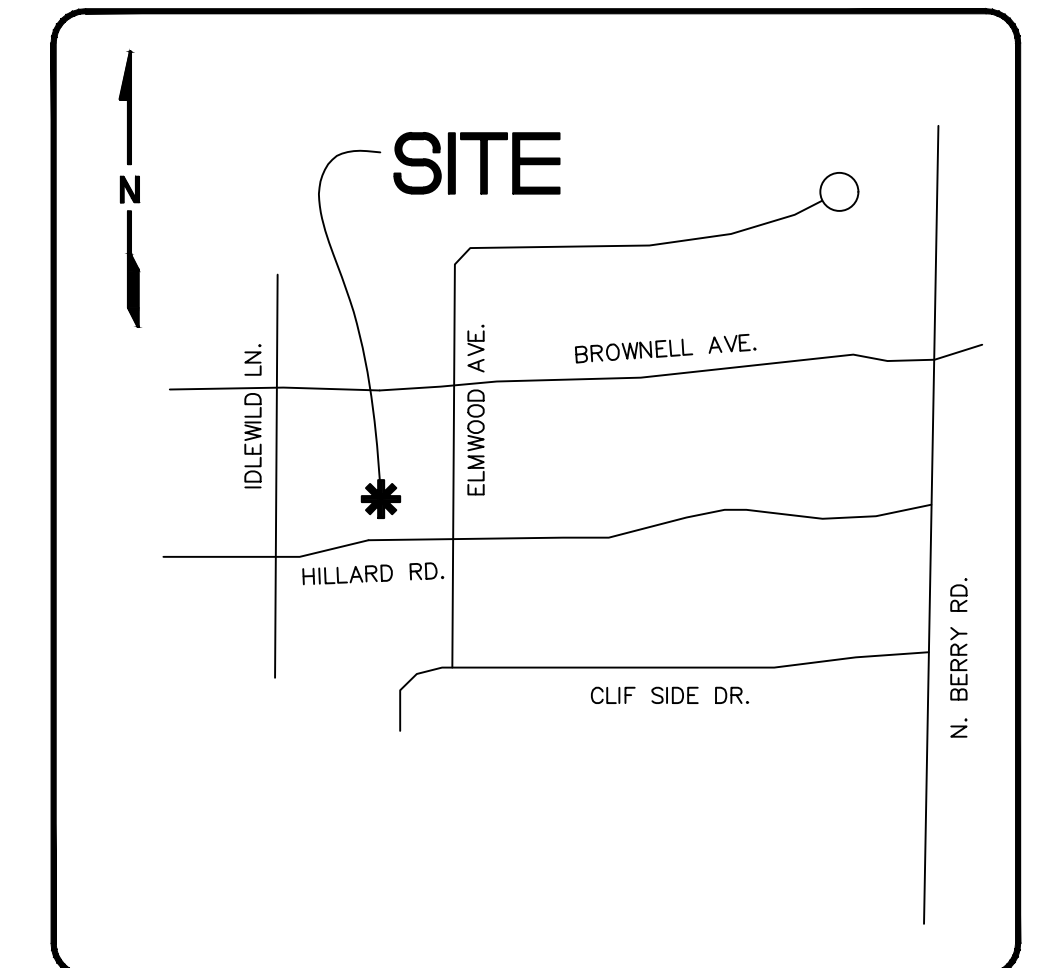
GENERAL NOTES

- BOUNDARY & IMPROVEMENT SURVEY PROVIDED BY CHECKPOINT SURVEYING LLC.
- GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF THE CITY OF GLENDALE, MSO, AND MO/DNR.
- SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- SANITARY SEWERS TO MEET THE CITY OF GLENDALE AND M.S.D. STANDARDS ON SITE.
- ALL UTILITY SERVICES SHALL BE UNDERGROUND.
- UTILITY INFORMATION PER SURVEY PROVIDED AND AVAILABLE RECORDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF GLENDALE STANDARDS.
- THE FINISHED GRADE LEVEL AT THE BUILDING TO BE MINIMUM OF 6" BELOW TOP OF FOUNDATION FOR MASONRY AND 8" FOR FRAME AND BRICK VENEER.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- ALL GRADING SHALL CONFORM TO THE APPROVED GRADING PLAN.
- FOUNDATION FOOTINGS SHALL BE CONSTRUCTED SO AS TO MAINTAIN A 2" DEPTH OF EARTH COVER OR AS REQUIRED BY THE LOCAL BUILDING CODES.
- BUILDING DIMENSIONS ARE TO BE VERIFIED WITH ARCHITECT PRIOR TO EXCAVATION OR CONSTRUCTION.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR BOUNDARY SURVEYS."
- ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.
- LEAF SCREENS ARE RECOMMENDED ON ALL DOWNSPOUTS THAT ARE PIPED TO STORM WATER BMP. SEE DOWNSPOUT DETAIL.

EXISTING UTILITY NOTE

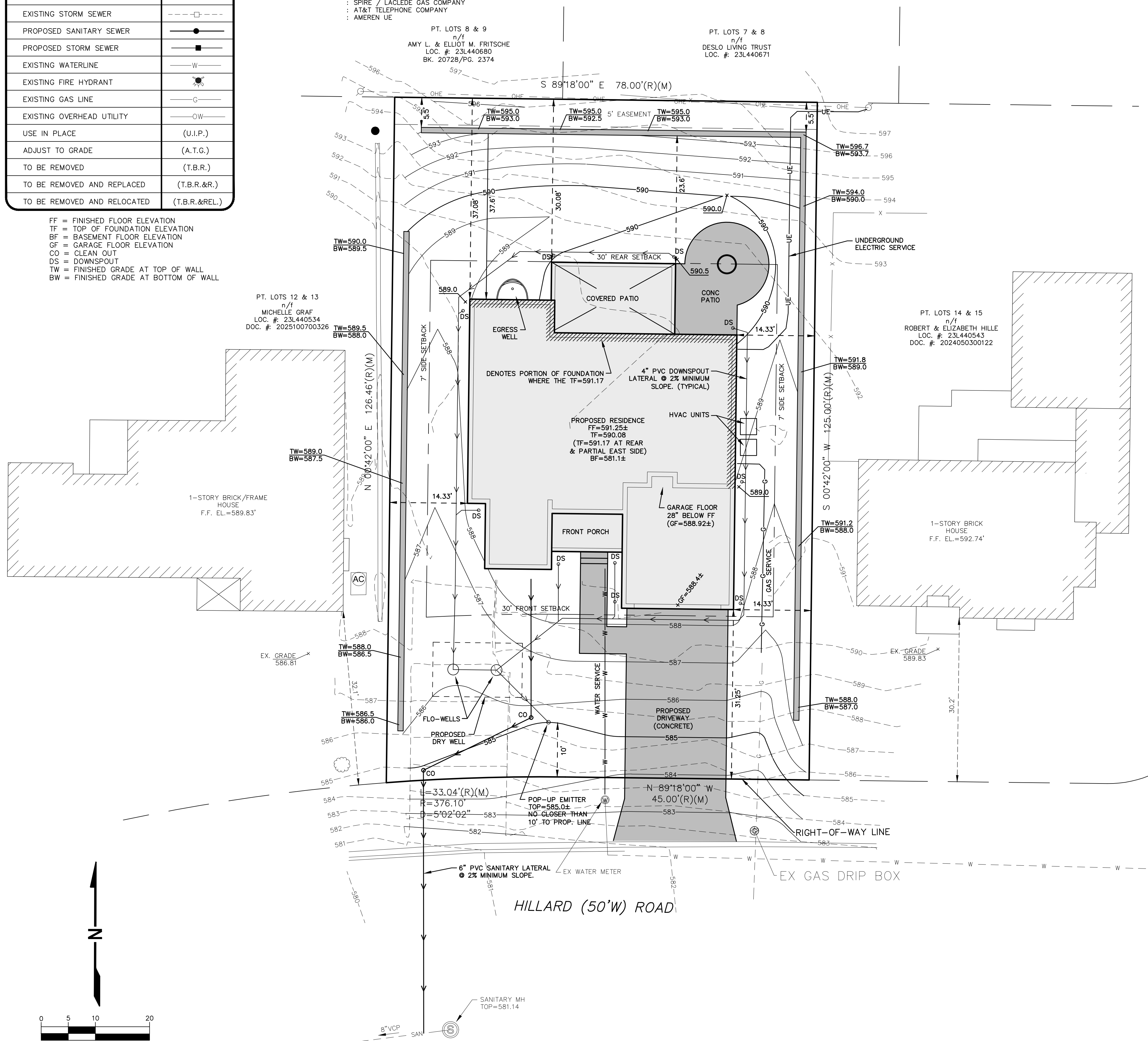


UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN; TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY (IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY FACILITY OWNER); AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

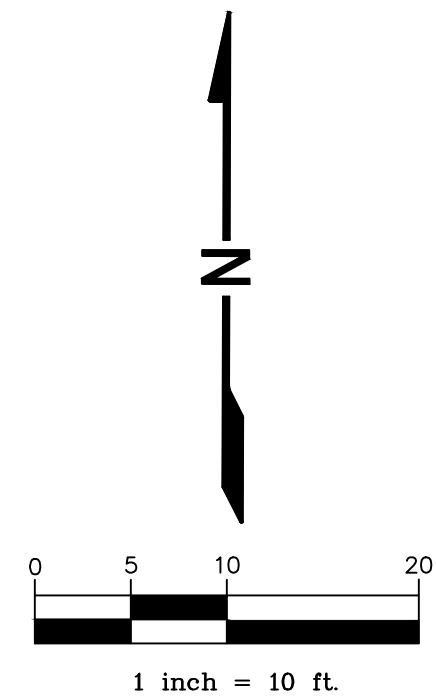


LOCATION MAP

N.T.S.

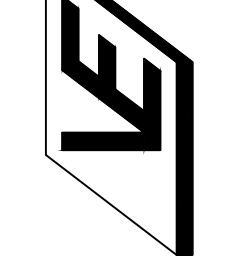


PROPOSED SITE PLAN



Benchmark Custom Homes
 www.BenchmarkHomesStl.com
 P: 314.909.7593

Vance Engineering, Inc.
 10537 Lackland Road
 St. Louis, MO 63114
 P: 314.427.1800



MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

1175 HILLARD ROAD

SITE PLAN



MICHAEL CLAY VANCE
 PROFESSIONAL ENGINEER
 MISSOURI LIC NO E-25616

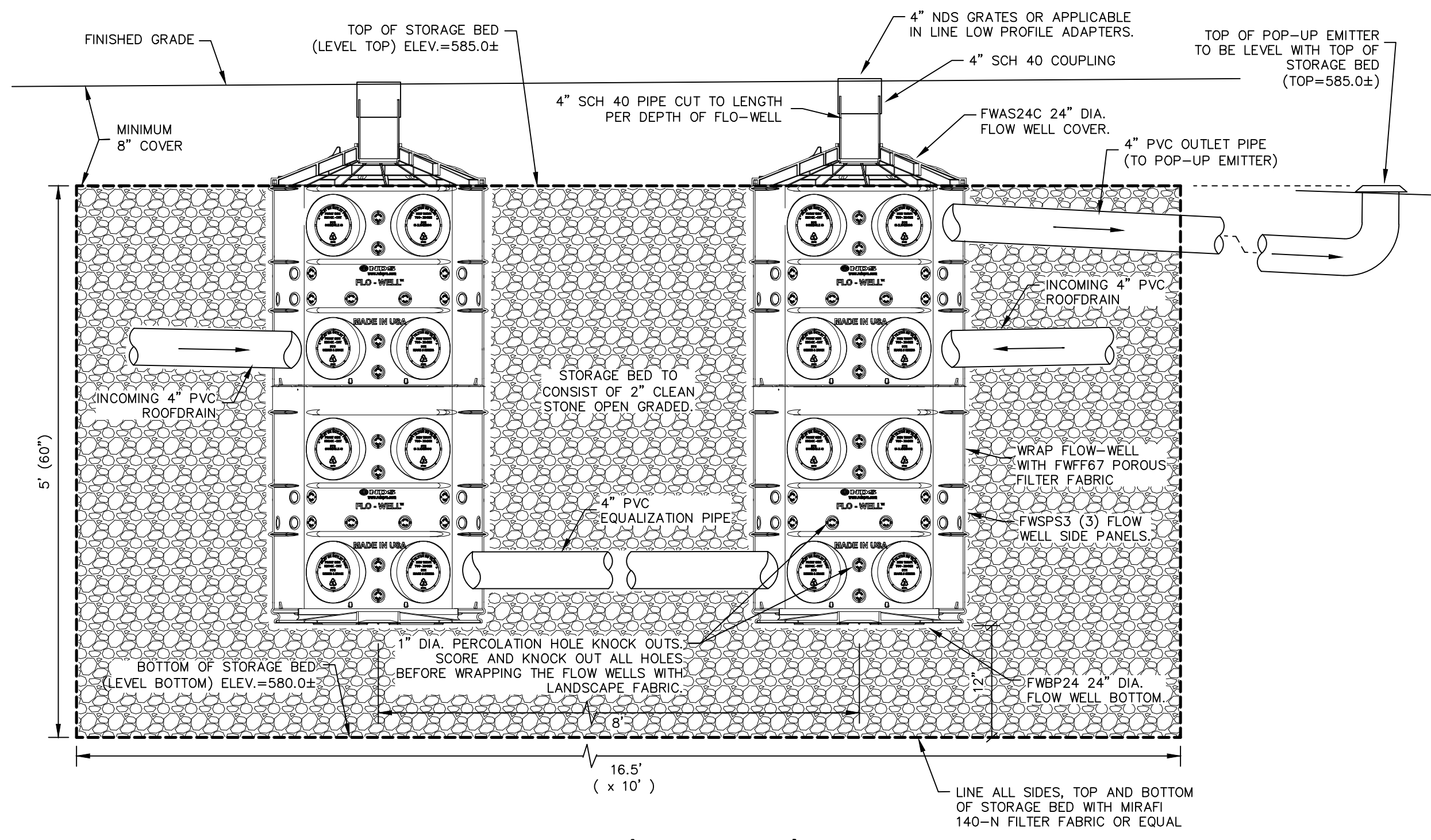
REVISED
 6/23/26 SVY DIM
 6/30/26 CTY COMTS

26018

06/04/26

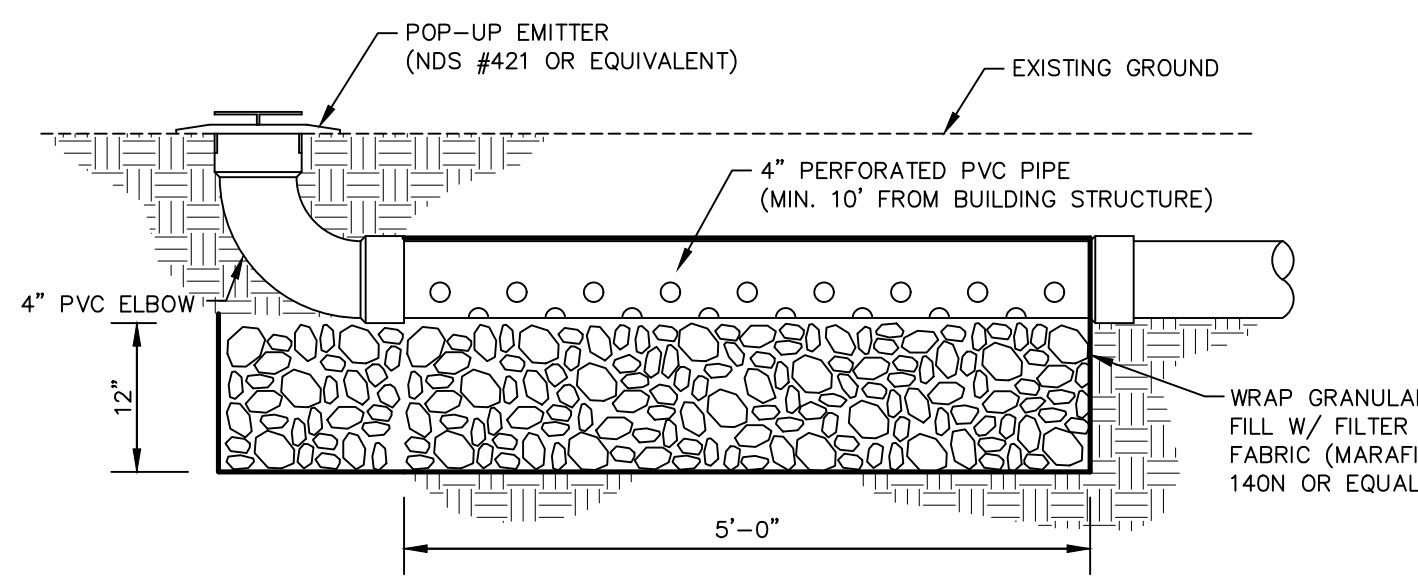
1 / 2

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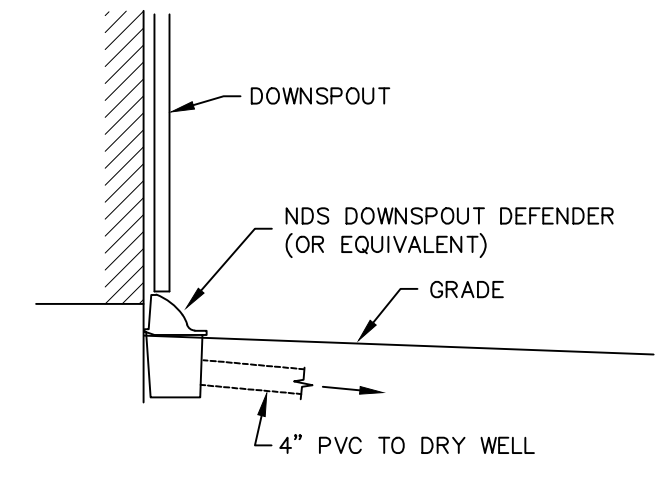
STORM WATER STORAGE BED (DRY WELL) with NDS FLO-WELL
NOT TO SCALE

NOTE: CONTRACTOR SHALL REFER TO AND FOLLOW THE INSTALLATION PROCEDURES PROVIDED IN THE MANUFACTURERS INSTALLATION GUIDE.

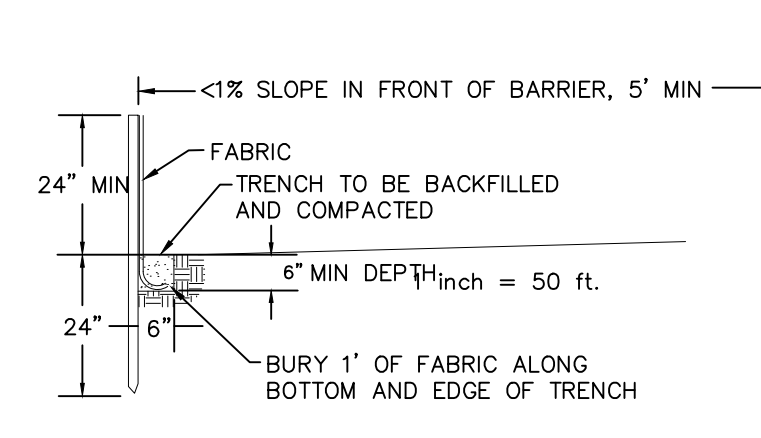


- NOTES:
1. GRANULAR FILL SHALL BE 1" MIN. CLEAN DRAINAGE ROCK.
 2. COMPACT SOIL MATERIAL UNDER LAWNS TO 85% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST. (ASTM D 1557)

POP-UP EMITTER



DOWNSPOUT DETAIL
FOR DOWNSPOUTS THAT ARE PIPED TO DRY WELL

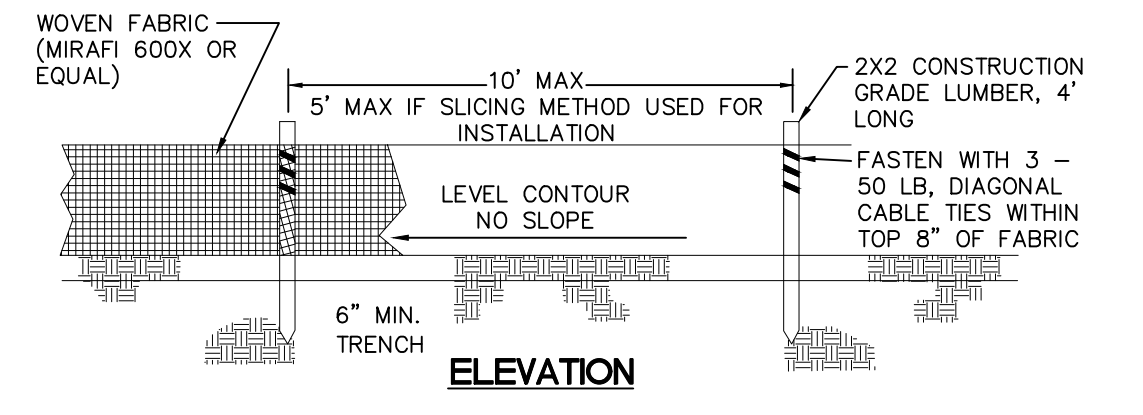


SECTION
NOTE: IF FABRIC IS INSTALLED BY EQUIPMENT DESIGNED TO SLICE INTO THE GROUND, THE TRENCH IS NOT NEEDED

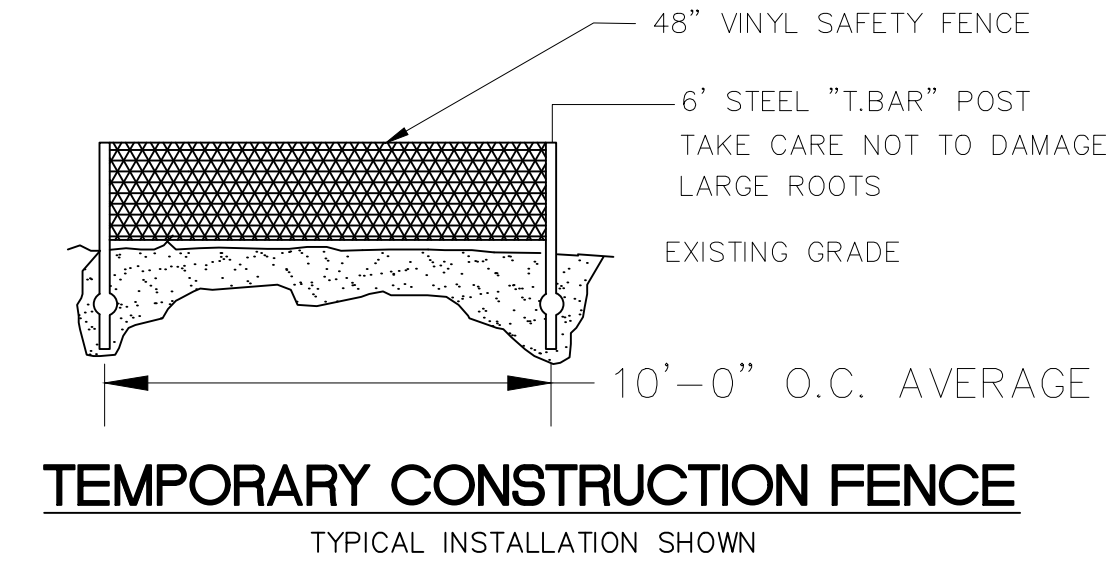
MAXIMUM SPACING ALONG SLOPES

3:1 SLOPES	30' FENCE TO FENCE
3:1 TO 10:1 SLOPES	50' FENCE TO FENCE
SLOPES <10%	100' FENCE TO FENCE

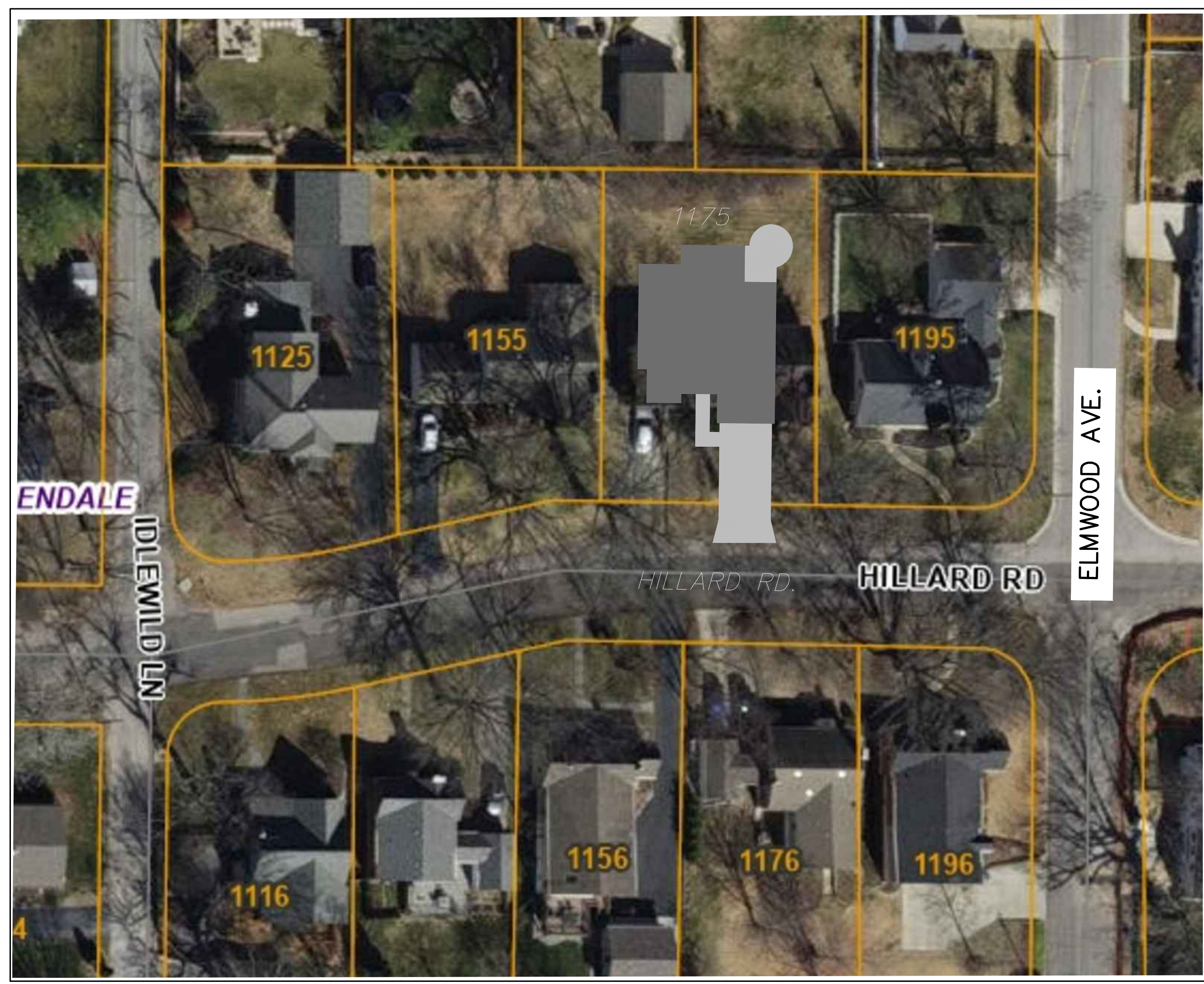
SILT FENCE DETAIL
N.T.S.



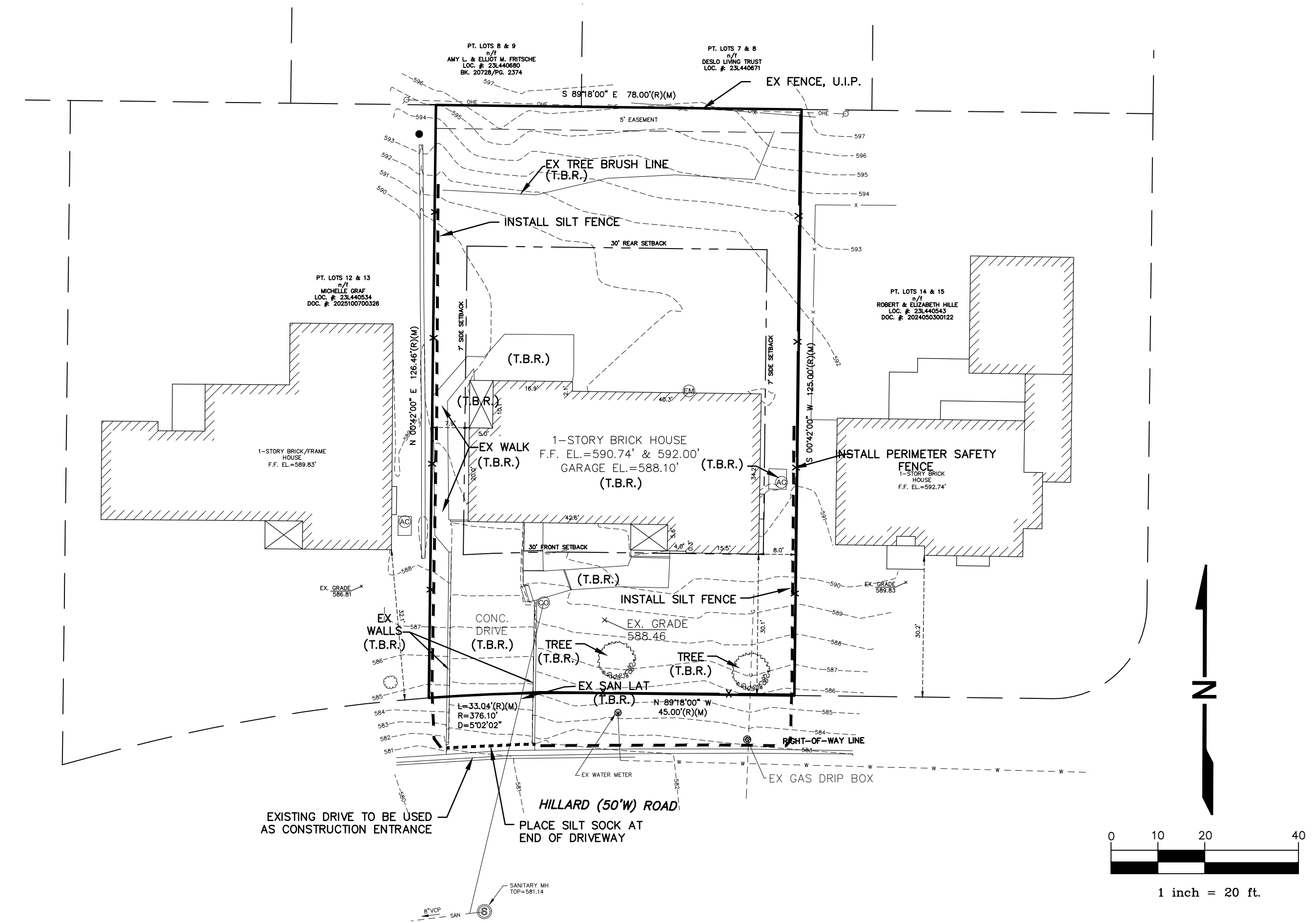
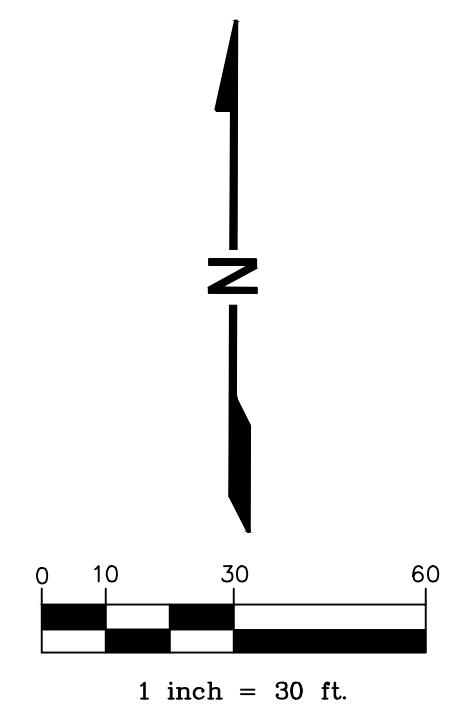
- NOTES:
1. SEE PLAN FOR INITIAL INSTALLATION LOCATION.
 2. INSTALL SILT FENCE PRIOR TO DISTURBANCE OF NATURAL VEGETATION AND AT APPROPRIATE INTERVALS DURING CONSTRUCTION OF FILL SLOPES.
 3. INSPECT & MAINTAIN FENCE AFTER EVERY RAINSTORM OR MINIMUM 2 WEEK INTERVALS DURING DRY PERIODS.
 4. SILT IS TO BE REMOVED WHEN DEPTH ALONG THE FENCE REACHES 12" OR 1/2 THE FENCE HEIGHT.
 5. REPAIR / REPLACE TORN OR CLOGGED FABRIC, LOOSE FABRIC, BROKEN POSTS, ETC. TO MAINTAIN INTEGRITY OF SILT FENCE THROUGHOUT CONSTRUCTION.
 6. STABILIZE ANY AREAS SUSCEPTIBLE TO UNDERMINING AS SOON AS THEY ARE NOTICED.
 7. EXTEND/ADD FENCE AS NECESSARY TO MAINTAIN/PROVIDE ADEQUATE PROTECTION.
 8. UPON ESTABLISHMENT OF ADEQUATE VEGETATION, REMOVE FENCE, REGRADE AND VEGETATE TRENCH AREA.



TEMPORARY CONSTRUCTION FENCE
TYPICAL INSTALLATION SHOWN



AERIAL - ADJOINING PROPERTIES



EXISTING CONDITIONS / DEMO PLAN

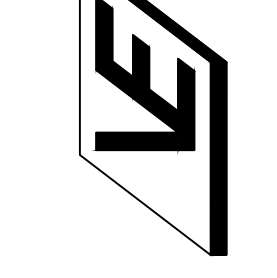
EXISTING UTILITY NOTE

BEFORE YOU DIG - DRILL - BLAST 1-800-344-7483 (TOLL FREE) MISSOURI ONE CALL SYSTEM, INC.

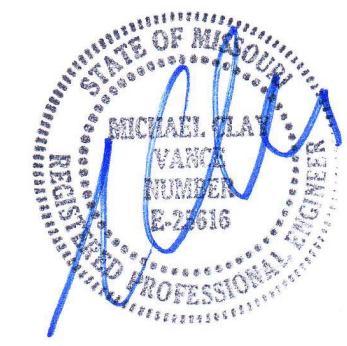
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN; TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY (IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY FACILITY OWNER); AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

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www.BenchmarkHomesStl.com
P: 314.909.7593

Vance Engineering, Inc.
10537 Lackland Road
St. Louis, MO 63114
P: 314.427.1800



1175 HILLARD ROAD
SITE PLAN



7/1/2026
MICHAEL CLAY VANCE
PROFESSIONAL ENGINEER
MISSOURI LIC NO E-25616
REVISED
6/23/26 SVY DIM
6/30/26 CTY COMTS

26018
06/04/26
2 / 2
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LEGEND

DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	---500---
EXISTING MINOR CONTOUR	---502---
PROPOSED MAJOR CONTOUR	—504—
PROPOSED MINOR CONTOUR	---502---
PROPOSED SPOT ELEVATION	+502.00
EXISTING SANITARY SEWER	—●—
EXISTING STORM SEWER	—□—
PROPOSED SANITARY SEWER	—●—
PROPOSED STORM SEWER	—■—
EXISTING WATERLINE	—W—
EXISTING FIRE HYDRANT	—●—
EXISTING GAS LINE	—G—
EXISTING OVERHEAD UTILITY	—OW—
USE IN PLACE	(U.I.P.)
ADJUST TO GRADE	(A.T.G.)
TO BE REMOVED	(T.B.R.)
TO BE REMOVED AND REPLACED	(T.B.R.&R.)
TO BE REMOVED AND RELOCATED	(T.B.R.&REL.)

FF = FINISHED FLOOR ELEVATION
 TF = TOP OF FOUNDATION ELEVATION
 BF = BASEMENT FLOOR ELEVATION
 GF = GARAGE FLOOR ELEVATION
 CO = CLEAN OUT
 DS = DOWNSPOUT
 TW = FINISHED GRADE AT TOP OF WALL
 BW = FINISHED GRADE AT BOTTOM OF WALL

Tree Study & Landscape Plan

- = Existing tree To be Removed
- = Proposed new Tree location
- A = Shash Daisy G = Maidenhair grass
- B = Variegated Boxwood F = Fine line Butterfly
- C = Seagreen Junipers
- D = Shasta Viburnum
- E = Dwarf Lilacs
- F = Hareh Grass

Tree Study

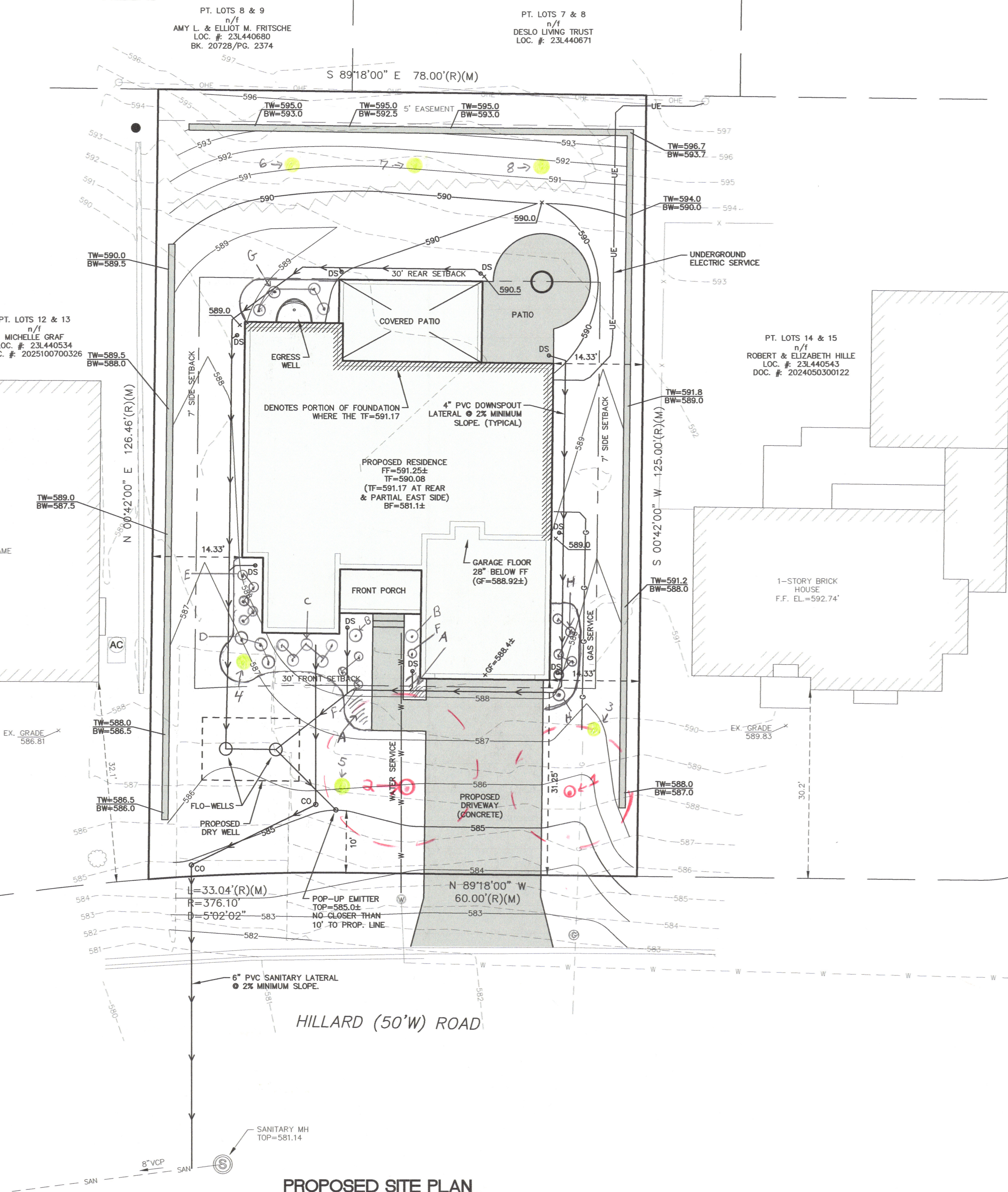
- 3 = Black Gum
- 4 = Black Gum
- 5 = Red Oak
- 6 = Norway Spruce
- 7 = Norway Spruce
- 8 = Norway Spruce

PROJECT DATA

LOCATOR NO. : 23L440552
 ADDRESS : 1175 HILLARD ROAD
 GLENDALE, MO 63122
 OWNER : BENCHMARK CUSTOM HOMEBUILDERS INC.
 AREA OF TRACT : 9,766 S.F. (0.224 AC.)
 PRESENT ZONING : R-2
 SINGLE FAMILY RESIDENCE
 PROPOSED USAGE : SINGLE FAMILY RESIDENCE
 SCHOOL DISTRICT : KIRKWOOD
 FIRE DISTRICT : GLENDALE
 WATERSHED(S) : RIVER DES PERES
 FIRM PANEL : 2918900309K
 UTILITIES : MISSOURI-AMERICAN WATER CO.
 METRO. ST. LOUIS SEWER DIST.
 SPIRE / LACLEDE GAS COMPANY
 AT&T TELEPHONE COMPANY
 AMEREN UE

PT. LOTS 8 & 9
 n/f
 AMY L. & ELLIOT M. FRITSCHE
 LOC. #: 23L440680
 BK. 20728/PG. 2374

PT. LOTS 7 & 8
 n/f
 DESLO LIVING TRUST
 LOC. #: 23L440671



SITE PLAN

1175 HILLARD ROAD

THE WEST 45 FEET OF LOT 14 + THE EAST 33 FEET OF LOT 13
 OF 'IDLEWILD SUBDIVISION', PLAT BOOK 36 PAGE 29,
 CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI

SITE COVERAGE

	AREA (S.F.)	AREA (AC.)	PERCENTAGE
TOTAL SITE	9,766	0.224	
EXISTING IMPERVIOUS	3,137	0.072	32.1%
PROPOSED IMPERVIOUS	3,843	0.088	39.4% *
CHANGE	+706	+0.016	+22.5%
FRONT YARD SETBACK	2,341	0.054	
EXISTING IMPERVIOUS	727	0.017	31.1%
PROPOSED IMPERVIOUS	654	0.015	27.9% **
CHANGE	-73	-0.002	-10.3%

* NO MORE THAN 55% ALLOWABLE PER SECTION 3B
 ** NO MORE THAN 45% ALLOWABLE PER SECTION 3B

- PROPOSED BUILDING (2,603 S.F.)
 (ROOF = 2,834 S.F.)
- PROPOSED PAVEMENT (1,240 S.F.)
 AND WALLS

YARD SETBACK REQUIREMENTS

FRONT: 31.15' (AVERAGE OF ADJACENT HOUSES)
 SIDE: 7'
 REAR: 30'

DIFFERENTIAL RUNOFF

DESIGN STORM: 15-YEAR 20-MINUTE
 4.20 CFS/AC. ROOF SURFACE
 3.54 CFS/AC. PAVED SURFACE
 1.70 CFS/AC. PERVIOUS SURFACE

EXISTING CONDITIONS:
 ROOF - 1,951 S.F. x 4.20 / 43,560 = 0.19
 PAVED - 1,186 S.F. x 3.54 / 43,560 = 0.10
 OPEN - 6,629 S.F. x 1.70 / 43,560 = 0.26
 TOTAL Q = 0.54 CFS

PROPOSED CONDITIONS:
 ROOF (HOUSE) - 2,834 S.F. x 4.20 = 0.27
 PAVED - 924 S.F. x 3.54 = 0.07
 OPEN - 6,008 S.F. x 1.70 = 0.23
 TOTAL Q = 0.58 CFS

NET INCREASE OF 0.04 CFS

STORM WATER CALCULATIONS

DESIGN STORM: 15-YEAR 20-MINUTE
 4.20 CFS/AC. ROOF SURFACE
 3.54 CFS/AC. PAVED SURFACE
 1.70 CFS/AC. PERVIOUS SURFACE

FOR NEW CONSTRUCTION, THE RUNOFF FROM THE ENTIRE ROOF AREA IS TO BE COLLECTED AND DETAINED.

PROPOSED ROOF AREA: HOUSE = 2,834 S.F.

RUNOFF = 2,834 S.F. x 4.20 CFS/AC. / 43,560 = 0.27 CFS

RUNOFF VOLUME TO BE DETAINED:
 0.27 CFS x 60 S/MIN x 20 MIN = 324 C.F.

VOLUME OF PROPOSED DRY WELL:
 15.5' x 10' x 5' x 40% VOIDS = 310 C.F.
 PLUS FOUR 50 GAL FLO-WELLS x 60% = 16 C.F.
 TOTAL VOLUME PROVIDED = 326 C.F.

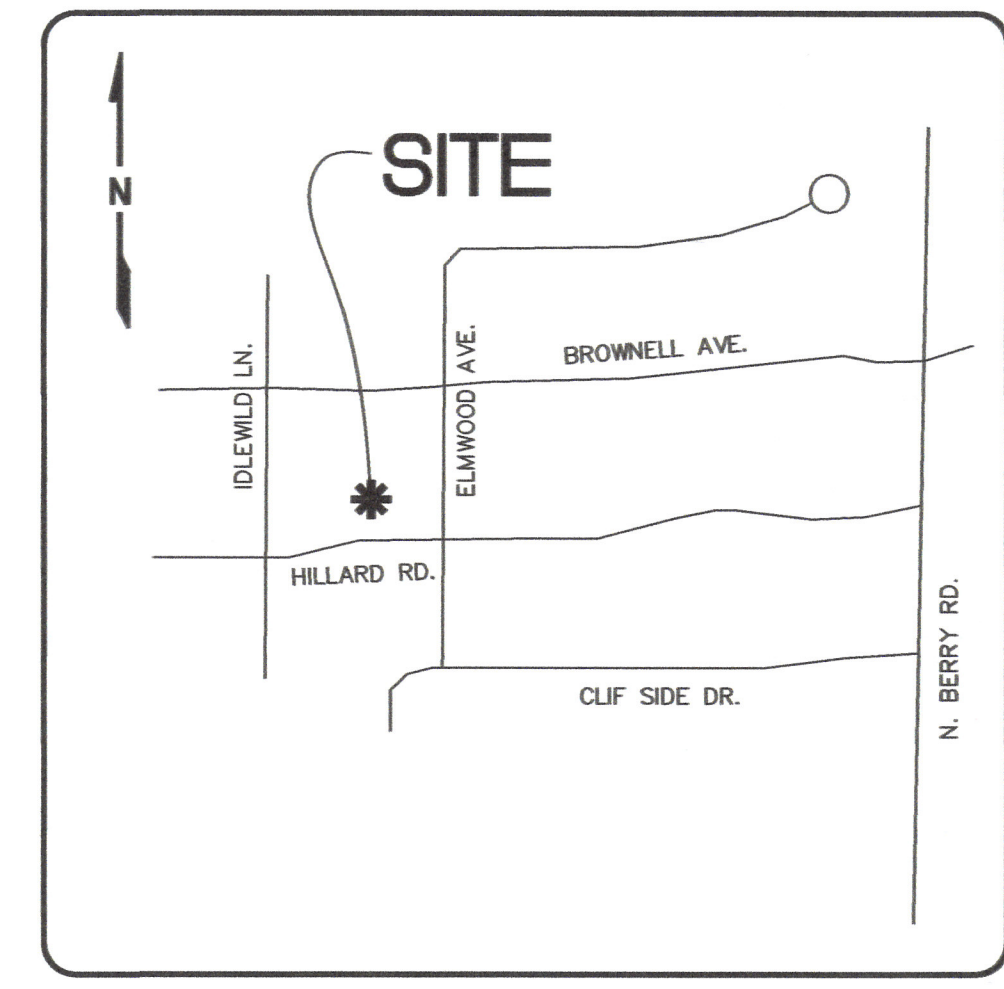
GENERAL NOTES

- BOUNDARY & IMPROVEMENT SURVEY PROVIDED BY CHECKPOINT SURVEYING LLC.
- GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF THE CITY OF GLENDALE, MSD, AND MOENR.
- SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- SANITARY SEWERS TO MEET THE CITY OF GLENDALE AND M.S.D. STANDARDS ON SITE.
- ALL UTILITY SERVICES SHALL BE UNDERGROUND.
- UTILITY INFORMATION PER SURVEY PROVIDED AND AVAILABLE RECORDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF GLENDALE STANDARDS.
- THE FINISHED GRADE LEVEL AT THE BUILDING TO BE MINIMUM OF 6" BELOW TOP OF FOUNDATION FOR MASONRY AND 8" FOR FRAME AND BRICK VENEER.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- ALL GRADING SHALL CONFORM TO THE APPROVED GRADING PLAN.
- FOUNDATION FOOTINGS SHALL BE CONSTRUCTED SO AS TO MAINTAIN A 2" DEPTH OF EARTH COVER OR AS REQUIRED BY THE LOCAL BUILDING CODES.
- BUILDING DIMENSIONS ARE TO BE VERIFIED WITH ARCHITECT PRIOR TO EXCAVATION OR CONSTRUCTION.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR BOUNDARY SURVEYS."
- ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.
- LEAF SCREENS ARE RECOMMENDED ON ALL DOWNSPOUTS THAT ARE PIPED TO STORM WATER BMP. SEE DOWNSPOUT DETAIL.

EXISTING UTILITY NOTE

BEFORE YOU DIG - DRILL - BLAST
 1-800-344-7483
 (TOLL FREE)
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LOCATION MAP

N.T.S.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN.

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1175 HILLARD ROAD
SITE PLAN

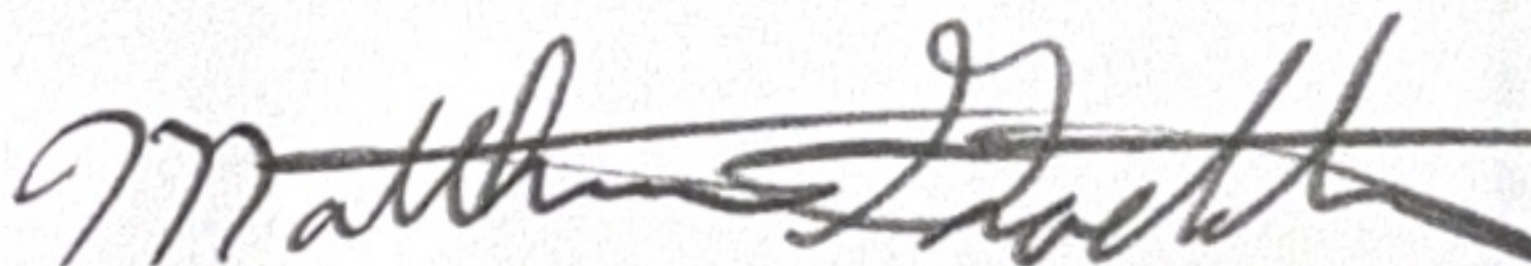
STATE OF MISSOURI
 MICHAEL CLAY VANCE
 PROFESSIONAL ENGINEER
 MISSOURI LIC NO E-25616
 REVISED

26018
 06/04/26
 1/2
 COPYRIGHT 2026



I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project. All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

Please refer to the City of Glendale MO ARB Guidelines-Section 5 for additional information regarding requirements and ordinances.

Matthew Groeteke 

Groeteke's Nursery & Outdoor Construction

I.S.A. Certified Arborist #MW-6077A

Commercial Applicator License #

Tree Study for site 1175 Hillard Rd.

Ref #	Species	Common Name	DBH	Physical Deterioration (health, structure, form) (0-100)	Functional Limitations (species-site interactions), (0-100)	External Limitations (outside, factors) (0-100)	Preserve/TBR	Comments	Condition
1	Liquidambar styraciflua	sweet gum	24"	80	90	90	TBR		Good
2	Quercus palustris	pin oak	32"	35	45	80	TBR	Heavy Gails/Heavy decline.	Poor
			Total DBH: 56						

DBH Summery				
Total DBH			56	
DBH to be removed			56	
DBH Remaining			0	
Minimum replacement tree (10"=1 tree)			6	

Tree to be Removed			
Ref#			
1	Liquidambar styraciflua	sweet gum	24"

2	Quercus palustris	pin oak	32"
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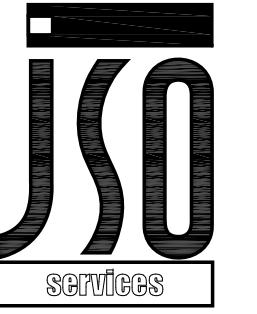
New Installed Trees			
3	Nyssa sylvatica	black gum	2.5"
4	Nyssa sylvatica	black gum	2.5"
5	Quercus borealis	red oak	2.5"
6	Picea albies	norway spruce	6'
7	Picea albies	norway spruce	6'
8	Picea albies	norway spruce	6'

CONSTRUCTION DOCUMENTS PACKAGE



NEW CUSTOM RESIDENCE FOR: 1175 HILLARD ROAD GLENDALE, MISSOURI 63122

ARCHITECT:



JSO SERVICES, LLC
P.O. BOX 410394
SAINT LOUIS, MISSOURI 63141
PH. 1.417.343.2602
WWW.JOHNSODOM.COM
E-MAIL: JOHN@JOHNSODOM.COM

CONTACT: JOHN S. ODOM

MISSOURI ARCHITECTURAL
CORPORATION LICENSE NUMBER:
2009030445

PROJECT:
NEW CUSTOM RESIDENCE
FOR:
1175 HILLARD ROAD
GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR

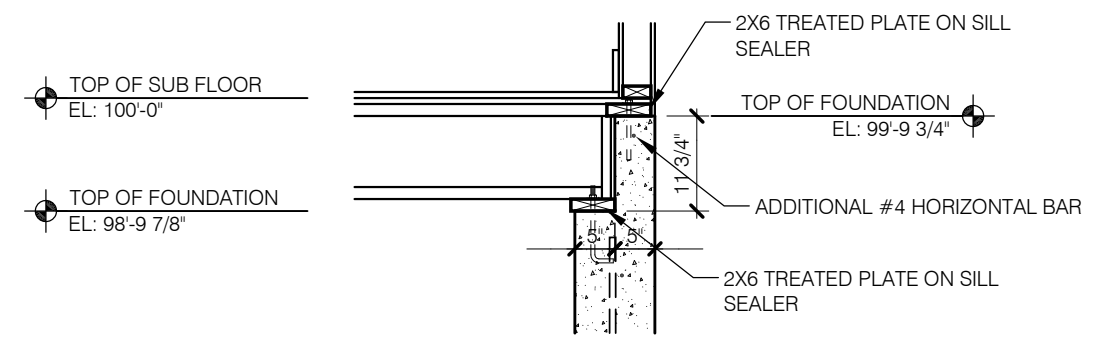
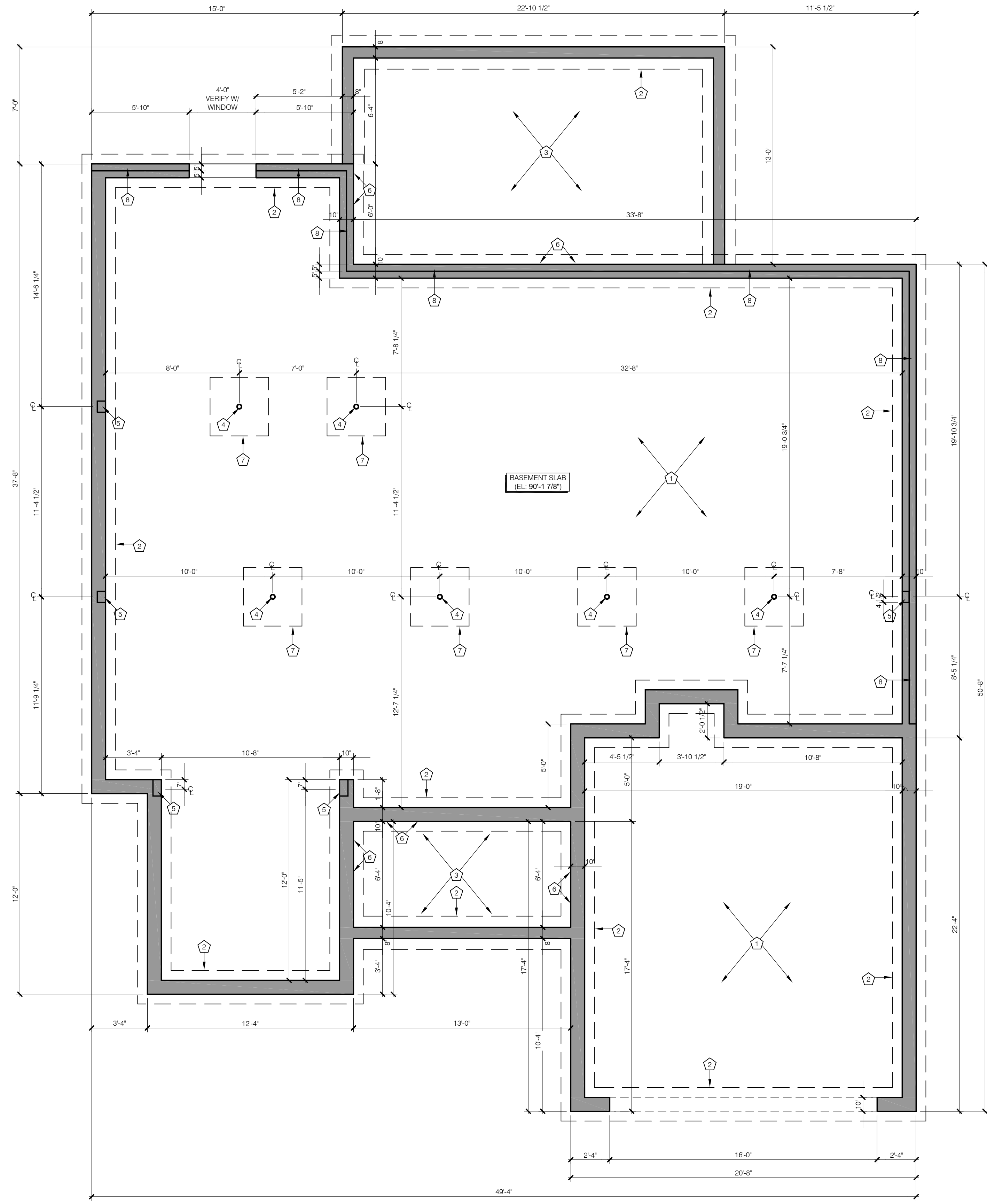


**BENCHMARK
HOMES**

BENCHMARK HOMES
13291 SPINDLE LANE
ST LOUIS, MISSOURI 63122
OFFICE / FAX: 1.314.909.7593
CELL: 1.314.749.7750
WWW.BENCHMARKHOMESSTL.COM
E-MAIL: JEFF@BENCHMARKSTL.COM

CONTACT: JEFF BRINKMAN

PROJECT REQUIREMENTS		SYMBOLS LEGEND		MATERIALS LEGEND - PARTITIONS - PLAN	
1. THE CONSTRUCTION DOCUMENTS ARE BASED ON DRAWINGS PREPARED BY ARCHITECT JOHN S. ODOM.	15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY TECHNIQUES, PROVISIONS, AND PROCEDURES AT ALL TIMES ON THE CONSTRUCTION SITE. THE GENERAL CONTRACTOR AND THEIR RESPECTIVE SUB-CONTRACTORS SHALL FOLLOW ALL OSHA SAFETY GUIDELINES AND PRACTICES. IN THE EVENT OF A CITY / COUNTY / OSHA SAFETY INSPECTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSPECTION, ASSOCIATED FINES FOR NON-COMPLIANCE, AND FOR ANY COSTS ASSOCIATED WITH PROJECT DELAYS.	NOTE: SYMBOLS SHOWN IN LEGENDS ARE TYPICAL AND ALL SYMBOLS MAY NOT OCCUR ON THIS PROJECT	SECTION REFERENCE, UPPER NUMBER INDICATES DETAIL NUMBER, LOWER NUMBER INDICATES SHEET NUMBER.	WOOD STUD WALL; SEE WALL TYPES	CONCRETE WALL
2. WHEN THE GENERAL CONTRACTOR SUBMITS A COST OF CONSTRUCTION BID / PROPOSAL, THE GENERAL CONTRACTOR INDICATES TO THE OWNER / ARCHITECT THAT THE GENERAL CONTRACTOR UNDERSTANDS THAT ALL OF THE LISTED PROJECT REQUIREMENTS BELOW ARE TO BE PART OF THE COST OF CONSTRUCTION, CONTRACT DOCUMENTS, AND THE OWNER & GENERAL CONTRACTOR AGREEMENT. AT NO POINT SHALL THESE PROJECT REQUIREMENTS (OR A PORTION THEREOF) BE OMITTED OR AMENDED FROM THE PROJECT SCOPE OR OWNER / CONTRACTOR AGREEMENT WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER OR ARCHITECT AGREEING TO AMEND THE PROJECT REQUIREMENTS AS PROPOSED BY THE OWNER / GENERAL CONTRACTOR. THE CONTRACTOR MUST MAKE PROVISIONS FOR ALL OF THE PROJECT REQUIREMENTS LISTED BELOW IN THEIR BASE BID AMOUNT.	16. PRIOR TO THE START OF ROUGH FRAMING AND DURING THE ROUGH FRAMING PHASE, THE GENERAL CONTRACTOR IS REQUIRED TO CHECK / COORDINATE ALL ROUGH FRAMING DIMENSIONS SHOWN ON THE DRAWINGS (FRAMING DIMENSIONS ARE SHOWN ON MULTIPLE DRAWING SHEET LOCATIONS) AGAINST THE EXISTING CONDITIONS / NEWLY CONSTRUCTED CONDITIONS. IN THE EVENT THAT A DISCREPANCY BETWEEN THE DIMENSIONED DRAWINGS / EXISTING SITE CONDITIONS / DESIGN INTENT OCCURS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDINGS WITH ANY WORK.	KEY NOTE SYMBOL	WINDOW SYMBOL		
3. THE GENERAL CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS & AVAILABLE INFORMATION PRIOR TO BEGINNING AND OR BIDDING ON WORK.	17. IN THE EVENT OF A CHANGE ORDER, WHICH INCLUDES A CHANGE IN THE SCOPE OF WORK (BUT NOT NECESSARILY A CHANGE IN PROJECT COST), THE CONTRACTOR SHALL NOT PROCEED WITH ANY CHANGE ORDER WORK UNTIL THE OWNER HAS BEEN GIVEN PROPER NOTICE (VERBAL OR WRITTEN) AND BOTH THE CONTRACTOR AND THE OWNER HAVE EXECUTED A WRITTEN CHANGE ORDER AGREEMENT. ANY WORK THAT HAS BEEN STARTED OR COMPLETED WITHOUT PROPER NOTICE OR WITHOUT AN EXECUTED WRITTEN CHANGE ORDER AGREEMENT IS TO BE AT THE RISK OF THE GENERAL CONTRACTOR. IF THIS OCCURS, THE OWNER IS NOT REQUIRED TO REIMBURSE THE GENERAL CONTRACTOR FOR ANY OF THE ADDITIONAL WORK COMPLETED AT THE RISK OF THE GENERAL CONTRACTOR.	DOOR SYMBOL	INTERIOR / EXTERIOR & CASEWORK ELEVATION, RIGHT NUMBER INDICATES SHEET NUMBER, LEFT NUMBERS INDICATES ELEVATION NUMBER		
4. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. THE MORE STRINGENT TO GOVERN. DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND CODES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.	18. ITEMS THAT ARE CONSIDERED TO BE TYPICAL (CAULKING / FLASHING / FINISHING TECHNIQUES / ETC) MAY OR MAY NOT BE SHOWN ON THE DRAWINGS. THESE TYPICAL ITEMS, WHETHER SHOWN OR NOT, ARE TO BE CONSIDERED STANDARD MEANS AND DETAILS OF QUALITY CONSTRUCTION, AND ARE TO BE INCLUDED IN THE GENERAL CONTRACTORS BASE BID AS NEEDED.	NORTH ARROW	ROOM NAME AND NUMBER - UPPER NUMBER INDICATES ROOM NUMBER LOWER NUMBER INDICATES FINISH NOTES (WHEN PRESENT). SEE FINISH SCHEDULE.		
5. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.	19. LISTED ALLOWANCES AND THE ASSOCIATED QUANTITIES SHOWN ARE TO BE FOLLOWED PER THE DRAWING SET. ONCE THE ALLOWANCE ITEM HAS BEEN SELECTED / PURCHASED / INSTALLED, THE GENERAL CONTRACTOR SHALL SUBMIT A CHANGE ORDER TO THE OWNER (EITHER A COST INCREASE OR A COST DECREASE TO THE TOTAL CONTRACT AMOUNT) TO REFLECT A SHORTAGE / OVERAGE IN THE LISTED ALLOWANCE TO MAINTAIN PROPER BOOKKEEPING.		SPECIAL NOTES: IF A GRAPHIC SYMBOL OR AND ABBREVIATION USED ON THIS SET OF DOCUMENTS IS NOT IDENTIFIED IN THIS LEGEND THEN THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR PROPER INTERPRETATION.		
6. ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL. DIMENSIONS OF EXISTING STRUCTURE, ETC., ARE + AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES.	20. IN THE EVENT THAT THE GENERAL CONTRACTOR REQUIRES A SPECIFIC DECISION BY THE OWNER PRIOR TO PROCEEDING WITH A SPECIFIC TRADE OF WORK, THE GENERAL CONTRACTOR SHALL SUBMIT THE QUESTION / INQUIRY IN WRITING TO THE OWNER AT LEAST THREE (3) BUSINESS DAYS PRIOR TO THE START OF THE WORK THAT IS TO TAKE PLACE. AT NO POINT SHALL THE OWNER BE CHARGED FOR A DELAY OF PROJECT IF A DECISION IS DELIVERED TO THE GENERAL CONTRACTOR WITHIN THE THREE (3) BUSINESS DAYS.				
7. PROVIDE SOLID BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.	21. THE CONTRACTOR IS TO PROTECT ALL EXISTING ELEMENTS ON THE CONSTRUCTION SITE FROM POTENTIAL DAMAGE THAT COULD OCCUR DURING ANY DEMOLITION / CONSTRUCTION PHASES. PROTECTION OF ITEMS INCLUDES, BUT NOT LIMITED TO: COVERING ALL EXISTING / NEW FLOORING WITH TAPED CARDBOARD, PLACING PLYWOOD OVER HEAVY EXTERIOR TRAFFIC AREAS, INSTALLING CONSTRUCTION FENCING TO PROTECT SITE ELEMENTS, TEMPORARY GUTTERS, ETC. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY EXISTING BUILDING ELEMENT THAT IS DISTURBED / DAMAGED DURING THE DEMO / CONSTRUCTION PHASES OF THE PROJECT. THE CONSTRUCTION SITE IS TO BE REGULARLY CLEANED OF DEBRIS AND KEPT BROOM SWEEP. ALL SITE CLEANUP AND THE COST TO DISPOSE OF DISCARDED MATERIAL IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.				
8. GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF FINISH WORK, WHETHER OR NOT SPECIFICALLY INDICATED ON CONTRACT DOCUMENTS.	22. THE ARCHITECT AND OWNER WILL PERFORM AN ON SITE INSPECTION TO CREATE A PUNCH LIST OF THE REMAINING ITEMS ONCE THE GENERAL CONTRACTOR HAS DEEMED THE PROJECT TO BE NEAR SUBSTANTIALLY COMPLETE. THE PUNCH LIST ITEMS THAT REMAIN ARE TO BE COMPLETED BY THE GENERAL CONTRACTOR AND THEIR RESPECTIVE SUB-CONTRACTORS IN A TIMELY MANNER. THE GENERAL CONTRACTOR AND THEIR RESPECTIVE SUB-CONTRACTORS ARE TO PROVIDE THE OWNER WITH A 1-YEAR LABOR AND MATERIAL WARRANTY FOR ALL ITEMS CONSTRUCTED, PROVIDED, AND / OR INSTALLED.				
9. SHOULD A DISCREPANCY IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS OCCUR, THE CONTRACTOR SHOULD IMMEDIATELY NOTIFY ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH WORK.	23. THE OWNER IS RESPONSIBLE FOR ALL BUILDING PERMIT COSTS AND INSPECTION COSTS. IN THE EVENT OF A FAILED INSPECTION, RE-SCHEDULED INSPECTION, OR REQUIRED ADDITIONAL INSPECTIONS, THROUGH NO FAULT OF THE OWNER, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED ADDITIONAL COSTS.				
10. CONTRACTOR SHALL PROPERLY SHORE UP EXISTING STRUCTURE WHERE REQUIRED DURING CONSTRUCTION. ANY EXISTING WALLS / FLOOR SYSTEMS SHOWN TO BE REMOVED THAT ARE, DURING CONSTRUCTION, FOUND TO BE LOAD BEARING OR PERTINENT TO THE STRUCTURAL STABILITY OF THE STRUCTURE, CONTRACTOR SHALL CONTACT ARCHITECT FOR REQUIRED ACTION TO BE TAKEN UNLESS OTHERWISE SHOWN ON THE PLANS. ALL TEMPORARY STRUCTURAL SUPPORTS SHALL BE IN PLACE PRIOR TO REMOVAL OF EXISTING STRUCTURAL MEMBERS.	24. THE CONTRACTOR SHALL RESERVE THE RIGHT TO CHANGE / MODIFY / ACCEPT AN ALTERNATIVE BUILDING MATERIAL FROM WHAT IS SHOWN / STATED WITHIN THIS SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE HOMEOWNER / CONTRACTED BUYER AT TIME OF CHANGE / MODIFICATION. A CHANGE MAY OCCUR AT THE SOLE DISCRETION OF THE CONTRACTOR IF NO BUYER IS UNDER CONTRACT AT THE TIME OF CHANGE / MODIFICATION. THE CHANGE / MODIFICATION SHALL NOT SUBSTANTIATE A CODE VIOLATION OR CREATE STRUCTURAL CHANGES / STRUCTURAL MODIFICATIONS / STRUCTURAL POTENTIAL ISSUES.				
11. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO READ / REVIEW ALL PLAN SPECIFICATIONS / ALLOWANCES / BID ALTERNATES / MISC. PROJECT SCOPES PRIOR TO START OF CONSTRUCTION / WORK. ANY QUESTIONS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION / WORK. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE BOUND TO THE ENTIRETY OF THE SET ONCE CONSTRUCTION HAS STARTED, UNLESS OTHERWISE SPECIFIED IN ACCEPTED CONTRACTORS BID / CONTRACT AGREEMENT.					
12. WHEN GENERAL CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS MATERIALS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOSS AND / OR DAMAGE TO THESE ITEMS. ALL CONSTRUCTION MATERIALS ARE TO BE OF NEW CONDITION. ALL MATERIALS ARE TO BE ASBESTOS FREE.					
13. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM FIRST-CLASS WORKMANSHIP. FINAL ACCEPTANCE OF WORK IS CONTINGENT UPON APPROVAL OF ARCHITECT AND PROPERTY OWNER. ANY WORK NOT MEETING THE APPROVAL OF THE ARCHITECT OR OWNER MAY BE REJECTED AND REQUESTED TO BE RECONSTRUCTED AT ANY STAGE OF CONSTRUCTION.					
14. DURING THE PROJECT BIDDING PHASE, IF THE BIDDER / GENERAL CONTRACTOR DISCOVERS AN OMISSION OF A CRITICAL BUILDING ELEMENT OR IF THE DRAWING / SPECIFICATION DOES NOT INCLUDE ENOUGH INFORMATION TO PROPERLY CONSTRUCT THE PROJECT FROM, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND REQUEST A CLARIFICATION. ALL CLARIFICATIONS ISSUED WILL BE DISTRIBUTED TO ALL BIDDERS PRIOR TO THE LISTED BID DEADLINE.					
		PROJECT LOCATION		1175 HILLARD ROAD GLENDALE, MISSOURI 63122	
				NO SCALE	
		PROJECT ARCHITECT		PROJECT CONTACTS	
		JSO SERVICES, LLC P.O. BOX 410394 SAINT LOUIS, MISSOURI 63141 PH. 1.417.343.2602 WWW.JOHNSODOM.COM E-MAIL: JOHN@JOHNSODOM.COM CONTACT: JOHN S. ODOM		GENERAL CONTRACTOR BENCHMARK HOMES 13291 SPINDLE LANE ST LOUIS, MISSOURI 63122 OFFICE / FAX: 1.314.909.7593 CELL: 1.314.749.7750 WWW.BENCHMARKHOMESSTL.COM E-MAIL: JEFF@BENCHMARKSTL.COM CONTACT: JEFF BRINKMAN	
		SHEET INDEX		APPLICABLE CODES	
		COVER SHEET ARCHITECTURAL A1.0 FOUNDATION PLAN A1.1 BASEMENT FLOOR PLAN A1.2 FIRST FLOOR PLAN A1.3 SECOND FLOOR PLAN A1.4 ROOF PLAN A2.0 BASEMENT REFLECTED CEILING & SWITCHING PLAN A2.1 FIRST FLOOR REFLECTED CEILING & SWITCHING PLAN A2.2 SECOND FLOOR REFLECTED CEILING & SWITCHING PLAN A3.0 EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A4.0 SECTIONS A4.1 SECTIONS AND DETAILS A5.0 FRAMING PLAN A5.1 FRAMING PLAN A5.2 FRAMING PLAN A5.3 BRACED WALL DETAILS A6.0 SPECIFICATIONS A6.1 TJ DETAILS		2015 INTERNATIONAL RESIDENTIAL BUILDING CODE	
		SQ FT CALCULATIONS			
		BASEMENT FINISHED = 1,003 SQ FT BASEMENT UNFINISHED = 583 SQ FT FIRST FLOOR = 1,741 SQ FT SECOND FLOOR = 940 SQ FT TOTAL FINISHED = 3,684 SQ FT		GARAGE = 477 SQ FT FRONT PORCH = 91 SQ FT REAR PORCH = 293 SQ FT	
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		JOHN S. ODOM, ARCHITECT MISSOURI LICENSE NUMBER: A-2009027291		SPECIAL NOTES: IN THE EVENT THE CLIENT CON	



FOUNDATION LEDGE DETAIL 2
SCALE 1/2" = 1'-0" A1.0

FOUNDATION PLAN 1
SCALE 1/4" = 1'-0" A1.0

- ### KEYNOTES
- 1 CONCRETE SLAB, PROVIDE PLASTIC VAPOR BARRIER, PROVIDE 4" GRAVEL BASE COURSE BELOW SLAB, PROVIDE WWF REINFORCING GRID, AT NON SUPPORTED SLAB EDGE LOCATIONS, PROVIDE #4 REBAR DOWELS INTO FOUNDATION EVERY 24" O.C.
 - 2 CONCRETE FOOTING BELOW (SHOWN HIDDEN), SEE WALL SECTIONS FOR FURTHER CLARIFICATION.
 - 3 CAST IN PLACE CONCRETE PATIO AT THIS LOCATION, COORDINATE FINISH WITH CONTRACTOR. SLOPE AWAY FROM RESIDENCE, PROVIDE 1/4" - 1/2" SLOPE MINIMUM, PROVIDE WWF REINFORCING GRID.
 - 4 SCHEDULE 40 3" STEEL PIPE COLUMN AT THIS LOCATION.
 - 5 PROVIDE A STEEL BEAM POCKET IN THE FOUNDATION WALL AT THIS LOCATION, COORDINATE SIZE OF POCKET W/ STEEL BEAM, SEE FRAMING PLAN.
 - 6 INSTALL REBAR DOWEL (EPOXY IN PLACE) FROM FOUNDATION WALL INTO PORCH SLAB / GARAGE SLAB, REBAR SHALL BE #4 SPACED EVERY 24" O.C. EMBED REBAR A MIN OF 24" INTO CONCRETE SLAB AND 6" INTO FOUNDATION WALL.
 - 7 HIDDEN LINE DENOTES 3'-6" X 3'-6" X 12" THICK CONCRETE FOOTING BELOW SLAB, REINFORCE CONCRETE FOOTINGS W/ (4) #6 BARS BOTH WAYS, STEEL IS TO BE PLACED IN BOTTOM OF FOOTING (PLACE STEEL 3" AWAY FROM BOTTOM OF FOOTING).
 - 8 REVERSE FOUNDATION LEDGE AT THIS LOCATION, SEE DETAIL THIS PAGE.

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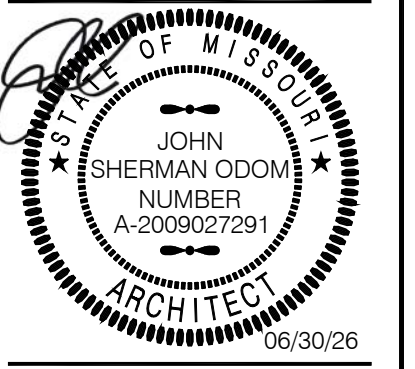
MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009030445

PROJECT:
NEW CUSTOM RESIDENCE
FOR:
1175 HILLARD ROAD
GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR

BENCHMARK HOMES
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THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees, and costs of defense) arising from such changes. Copyright © 2008 by JSD Services, LLC. All rights reserved. No part of this drawing may be reproduced by photocopy or by any other means, or stored, processed, or transmitted in or by any computer or other system without the prior written permission of the Architect.

Drawn: JSD Date: 06/30/26

A1.0
FOUNDATION PLAN

DOOR SCHEDULE

NO	DOOR SIZE	DOOR	FRAME	HRDW SET	REMARKS
002	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
003	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
004	2'-8" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
005A	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
005B	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
006	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
007	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
008	3'-0" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
101	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
102	(2) 1'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
103	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
104	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
105	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
107A	2'-8" X 8'-0" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
107B	2'-8" X 8'-0"	MTL/F1	WD/F1	SET 2	REMARK 2,3
108	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
110	16'-0" X 8'-0" O.H.D.	MTL/F2/GL	MTL/F2		
111	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112A	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112B	3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
113	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
114	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
115	2'-6" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
200	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
202	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
203	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
204	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
205	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
206	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
208	2'-4" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
209A	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
209B	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
211	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
212	(2) 2'-4" X 6'-8" SLIDER	WD/F1	WD/F1	SET 5	REMARK 1

DOOR & FRAME FINISHES

MTL = METAL DOOR OR FRAME IN = INSULATED DOOR
 GL = FULL VIEW GLASS DOOR F1 = PAINTED
 WD = WOOD F2 = PRE-FINISHED

DOOR REMARKS

REMARK 1: DOOR IS TO BE A 2 PANEL HOLLOW CORE DOOR.
 REMARK 2: DOOR IS TO BE A 1 HOUR FIRE RATED DOOR.
 REMARK 3: DOOR TO BE INSTALLED WITH AN AUTOMATIC CLOSING DEVICE.

DOOR HARDWARE SETS

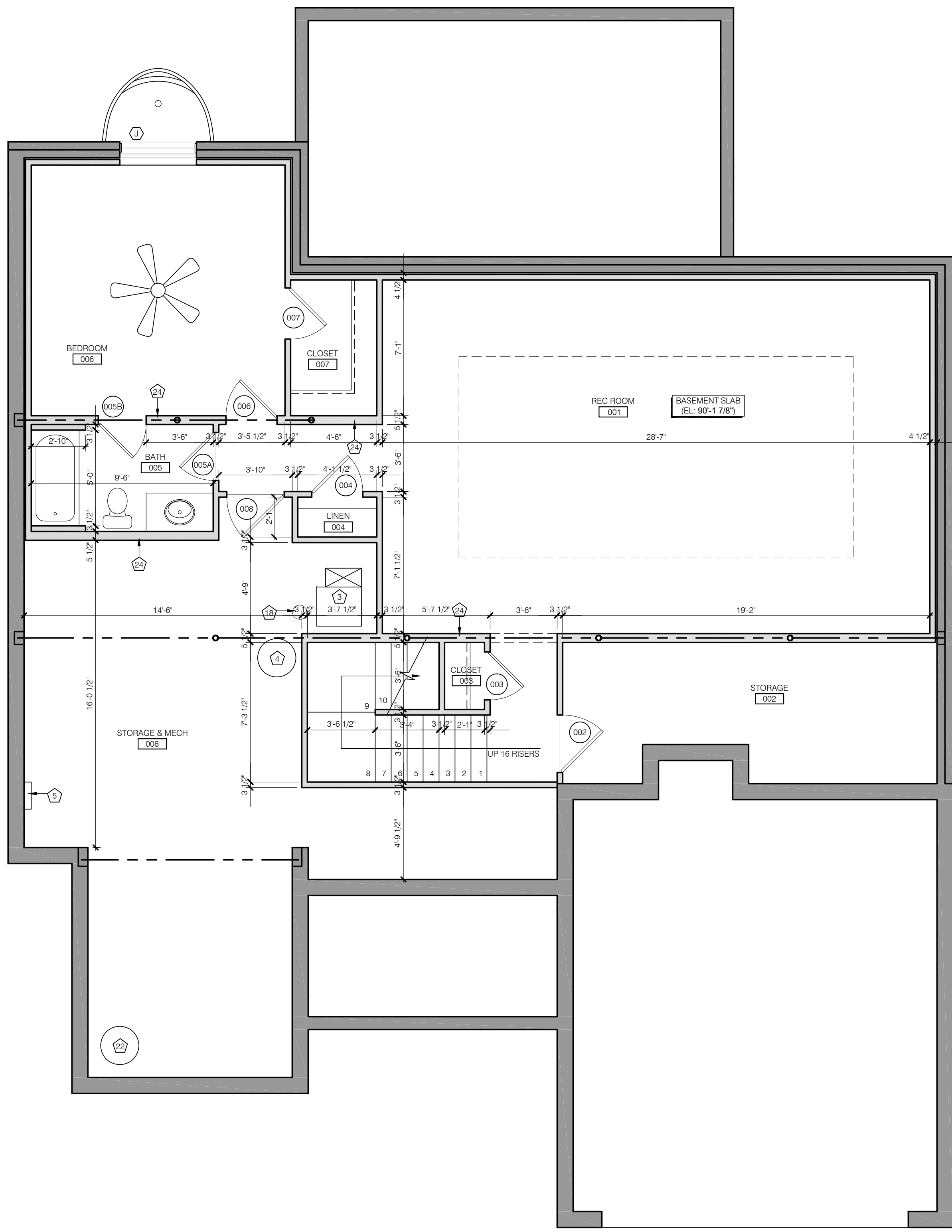
SET 1 "KEYED" LOCK SET AND OPTIONAL DEAD BOLT SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER. KEY PER OWNER'S REQUESTS.
 SET 2 "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 3 "PASSAGE" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 4 POCKET DOOR "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER.
 SET 5 SLIDER DOOR HARDWARE BY DOOR MANUF.

WINDOW SCHEDULE

NO	WINDOW SIZE	CLEAR GLASS OPENING AREA	MEETS EGRESS	REMARKS
A	3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
B	(2) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
C	(3) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
D	3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
E	6'-0" X 2'-0"	8.3 SQ FT	NO	REMARK 1,3,4,5,6
F	(2) 3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
G	(2) 3'-0" X 5'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
H	3'-0" X 3'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
I	(2) 2'-6" X 4'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
J	4'-0" X 4'-0"	5.8 SQ FT	YES	REMARK 1,4,5,7,8

WINDOW REMARKS

REMARK 1: SEE FLOOR PLAN FOR EXACT QUANTITIES. SEE EXTERIOR ELEVATIONS FOR SET HEIGHT.
 REMARK 2: WINDOW IS TO BE A DOUBLE HUNG UNIT.
 REMARK 3: WINDOW IS A FIXED UNIT.
 REMARK 4: WINDOW GLASS TO BE CLEAR DOUBLE PANE / INSULATED GLASS.
 REMARK 5: WINDOW IS TO BE A VINYL WINDOW.
 REMARK 6: SEE EXTERIOR ELEVATIONS FOR WINDOW MUTTON DESIGN.
 REMARK 7: VERIFY W/ WINDOW MANUF THAT THE WINDOW MEETS EGRESS REQ.
 REMARK 8: WINDOW IS TO BE SLIDER EGRESS UNIT.



GENERAL FLOOR PLAN NOTES

- ROOM NAME → ROOM NUMBER
- SEE CEILING PLANS FOR OTHER FINISH INFORMATION.
 - SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR FURTHER CLARIFICATION.
 - THE KEYNOTES LISTED ON THIS SHEET APPLY TO THIS SHEET ONLY. THE DIMENSIONS SHOWN ON THIS SHEET ARE FROM FACE OF ROUGH FRAMING MATERIAL TO FACE OF ROUGH FRAMING MATERIAL. GENERAL CONTRACTOR IS TO ADJUST FOR CRITICAL FINISH DIMENSIONS (CABINET DIMENSIONS, ETC) AS NEEDED.
- KEYNOTES**
- LINE OF CEILING TRANSITION ABOVE (SHOWN HIDDEN). SEE REFLECTED CEILING PLAN.
 - CONTRACTOR TO PROVIDE AND INSTALL A CONTINUOUS GRASPABLE WOOD HANDRAIL (1-1/4" DIAM) AT THIS LOCATION. HANDRAIL SHALL BE INSTALLED 34" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS. HANDRAIL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE ADJACENT WALL AND THE EDGE OF THE HANDRAIL.
 - HIGH EFFICIENCY GAS FURNACE AT THIS LOCATION. ALL MECHANICAL SERVICES / DUCT WORK IS TO BE DESIGN / BUILT BY THE MECHANICAL CONTRACTOR. ALL DUCT WORK CHASES IN FLOOR SYSTEMS ARE TO BE COORDINATED PRIOR TO FABRICATION OF THE FLOOR SYSTEM. TIPS 60 GALLON DIRECT VENT GAS WATER HEATER W/ EXPANSION TANK PROVIDED AND INSTALLED BY THE PLUMBING CONTRACTOR.
 - 200 AMP ELECTRICAL PANEL AT THIS LOCATION. ALL ELECTRICAL WORK IS TO BE DESIGN / BUILT BY THE ELECTRICAL CONTRACTOR.
 - GAS FIREPLACE AT THIS LOCATION.
 - 8" SQUARE PERMACAST COLUMN W/ BASE & CAP. COLOR BY OWNER.
 - CONTRACTOR TO INSTALL 3/4" HARDWOOD FLOORING AT THIS LOCATION.
 - CONTRACTOR TO INSTALL PORCELAIN TILE FLOORING AT THIS LOCATION.
 - CONTRACTOR TO INSTALL NEW LVP FLOORING AT THIS LOCATION.
 - CONTRACTOR TO INSTALL NEW CARPET FLOORING AT THIS LOCATION.
 - CONTRACTOR TO PROVIDE AN APPROPRIATE FLOOR TRANSITION AT THIS LOCATION. TRANSITION HEIGHT NOT TO EXCEED 1/2".
 - 36" HIGH GUARD RAILING AT THIS LOCATION. SPACING OF GUARD RAIL BALUSTERS TO BE 4" OR LESS.
 - PROVIDE 5/8" GYP BOARD ON INTERIOR WALL & GARAGE SIDE OF THE COMMON HOUSE / GARAGE WALLS UP TO THE UNDERSIDE OF THE GARAGE GYPSUM BOARD CEILING. PROVIDE A MIN OF R-13 INSULATION IN WALL BETWEEN THE GARAGE AND THE COMMON HOUSE WALL.
 - GAS COOKTOP WITH DRYWALL HOOD ABOVE. VENT HOOD DIRECTLY TO THE EXTERIOR. TYP. HOOD TO EXHAUST 300 CFM. BOTTOM OF HOOD TO BE 27" ABOVE FINISHED FLOOR.
 - ELECTRIC DRYER AT THIS LOCATION. PROVIDE A 4" EXHAUST DUCT DIRECTLY TO THE EXTERIOR. TYP. 3 POLE GROUND. 220V SERVICE.
 - WIRE SHELVING TO BE PROVIDED BY / INSTALLED BY GENERAL CONTRACTOR.
 - FLOOR DRAIN PROVIDED AT THIS LOCATION. CONTRACTOR IS TO POSITIVELY SLOPE CONCRETE TOWARDS DRAIN.
 - PLUMBING FIXTURE AT THIS LOCATION AS SHOWN.
 - INSTALL AN EXTERIOR HOSE BIB AT THIS LOCATION. PROVIDE A SHUT OFF VALVE INTERIOR SIDE OF WALL OR IN BASEMENT AREA BELOW. TYP.
 - SHOWER GLASS AT THIS LOCATION IS TO BE 3/8" TYPE 2 SAFETY GLASS. GLASS TO BE FULL HEIGHT TO CEILING FOR STEAM SHOWER.
 - SUMP PUMP PIT AT THIS LOCATION. TYP.
 - BASE / UPPER CABINETS WITH COUNTER. CABINET & COUNTER TOP STYLE / TYPE / COLOR TO BE SELECTED BY CONTRACTOR.
 - WALL AT THIS LOCATION IS TO BE A 2X6 WOOD STUD WALL AT 16" O.C.
 - ROOF RIDGE VENT AT THIS LOCATION.
 - PRE-FINISHED DOWN SPOUT AT THIS LOCATION. SEE ELEVATIONS.
 - 25 YEAR ARCHITECTURAL SHINGLES PLACED OVER ONE LAYER OF 15 POUND FELT PAPER. UNDERLayment SHALL BE APPLIED SHINGLES FASHION. PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2". FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6" INSTALL AN ICE AND WATER SHIELD AT UNDERSIDE OF SHINGLES.
 - PRE-FINISHED ALUMINUM GUTTERS AT THIS LOCATION. SEE ELEVATIONS.
- WALL TYPES DESCRIPTIONS**
- ANY WALL NOT INDICATED OR KEVED FOR TYPE AND CONSTRUCTION SHALL BE CLARIFIED BY INTERPRETATION FROM THE ARCHITECT PRIOR TO CONSTRUCTION.
 - INTERIOR NON-STRUCTURAL WALLS SHALL BE INSTALLED PER THEIR RESPECTIVE STUD MANUFACTURERS LIMITING HEIGHT INFORMATION AND/OR BRACED AT MID-SPAN.
 - ALL WALLS W/ PLUMBING FIXTURES SHALL RECEIVE MOISTURE RESISTANT GYP. BOARD.
 - SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS & OTHER FINISH INFORMATION.
 - PROVIDE NECESSARY BLOCKING IN WALLS FOR INSTALLATION OF NEW LIGHT FIXTURES, EQUIPMENT, ETC. COORDINATE BLOCKING LOCATIONS W/ ELECTRICIAN PRIOR TO DRYWALL.
- NOTE: ALL NEW INTERIOR / EXTERIOR WALLS ON THE BASEMENT / FIRST FLOOR ARE TO BE 2X4 WOOD STUD WALLS @ 16" O.C. UNLESS OTHERWISE NOTED. MINIMUM FIBER STRESS OF ANY NEW FRAMING MEMBERS TO EQUAL 1,250. ALIGN NEW STUD WALL W/ FRAMING ABOVE / BELOW. SEE FRAMING PLAN. ALL EXTERIOR WALLS TO RECEIVE R-15 3.5" THICK BATT INSULATION. ALL INTERIOR WALLS TO RECEIVE 1/2" TYPE X GYP BOARD. PROVIDE MOISTURE RESISTANT GYP BOARD AT WET LOCATIONS. SEE SECTIONS FOR FURTHER CLARIFICATION AND OTHER MATERIAL THICKNESS / DIMENSIONS. CONTRACTOR TO CHEMICALLY TREAT SOIL FOR PROTECTION AGAINST TERMITES AT THE PERIMETER OF THE RESIDENCE. ALL 2X4 WOOD BASE PLATES IN CONTACT WITH CONCRETE ARE TO BE TREATED LUMBER.
- INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200 OR A SMOKE DEVELOPMENT INDEX EXCEEDING 450.
- ALL FOAM PLASTICS SHALL HAVE A FLAME SPREAD RATING OF 75 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
- TOP AND BOTTOM OF ALL CONVENTIONAL DOUBLE STUD, FURRED SPACES, AND STAGGERED STUD FRAME WALLS ARE TO BE FIRE BLOCKED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0". FIRE BLOCKING REQUIRED AT ALL SOFFITS AND DROPPED CEILINGS. FIRE BLOCKING REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYPSUM BOARD. FIRE BLOCKING REQUIRED AROUND VENT, PIPE, AND DUCT PENETRATIONS OF CEILINGS AND FLOORS. ALL SPACES BETWEEN THE CHIMNEY AND THE FLOORS AND CEILINGS THE CHIMNEY PASSES THROUGH SHALL BE FIRE BLOCKED (1" DEPTH OF BATT OR BLANKET OF MINERAL WOOL OR GLASS FIBER SUPPORTED BY STRIPS OF METAL OR METAL LATH).

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MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009030445

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 NEW CUSTOM RESIDENCE
 FOR:
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GENERAL CONTRACTOR:

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 13281 SPINDLE LANE
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DOOR SCHEDULE

NO	DOOR SIZE	DOOR	FRAME	HRDW SET	REMARKS
002	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
003	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
004	2'-8" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
005A	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
005B	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
006	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
007	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
008	3'-0" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
101	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
102	(2) 1'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
103	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
104	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
105	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
107A	2'-8" X 8'-0" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
107B	2'-8" X 8'-0"	MTL/F1	WD/F1	SET 2	REMARK 2,3
108	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
110	16'-0" X 8'-0" O.H.D.	MTL/F2/GL	MTL/F2		
111	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112A	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112B	3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
113	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
114	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
115	2'-6" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
200	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
202	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
203	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
204	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
205	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
206	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
208	2'-4" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
209A	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
209B	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
211	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
212	(2) 2'-4" X 6'-8" SLIDER	WD/F1	WD/F1	SET 5	REMARK 1

DOOR & FRAME FINISHES

MTL = METAL DOOR OR FRAME IN = INSULATED DOOR
 GL = FULL VITR GLASS DOOR F1 = PAINTED
 WD = WOOD F2 = PRE-FINISHED

DOOR REMARKS

REMARK 1: DOOR IS TO BE A 2 PANEL HOLLOW CORE DOOR.
 REMARK 2: DOOR IS TO BE A 1 HOUR FIRE RATED DOOR.
 REMARK 3: DOOR TO BE INSTALLED WITH AN AUTOMATIC CLOSING DEVICE.

DOOR HARDWARE SETS

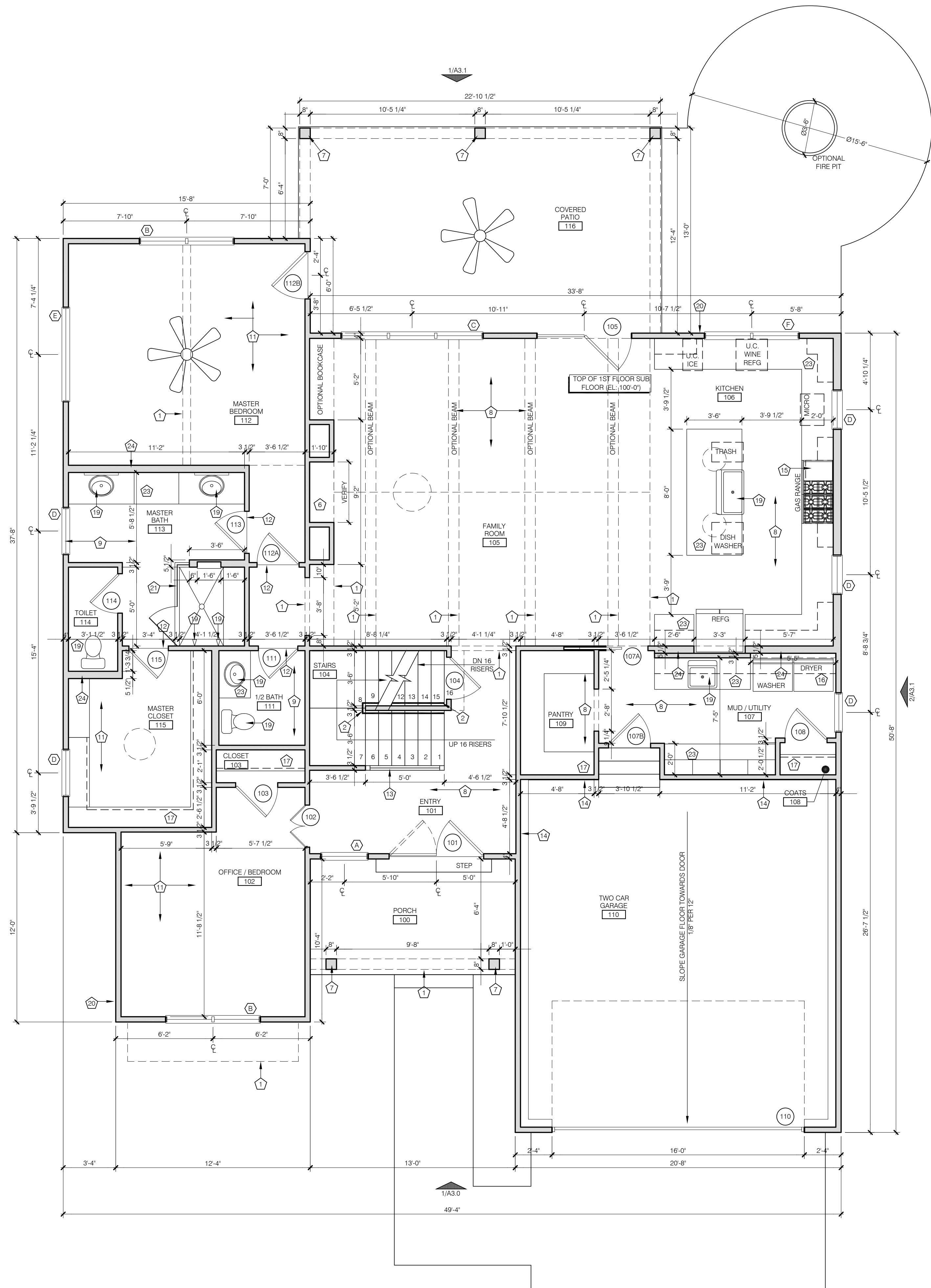
SET 1 "KEYED" LOCK SET AND OPTIONAL DEAD BOLT SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER. KEY PER OWNERS REQUESTS.
 SET 2 "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 3 "PASSAGE" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 4 POCKET DOOR "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER.
 SET 5 SLIDER DOOR HARDWARE BY DOOR MANUF.

WINDOW SCHEDULE

NO	WINDOW SIZE	CLEAR GLASS OPENING AREA	MEETS EGRESS	REMARKS
A	3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
B	(2) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
C	(3) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
D	3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
E	6'-0" X 2'-0"	8.3 SQ FT	NO	REMARK 1,3,4,5,6
F	(2) 3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
G	(2) 3'-0" X 5'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
H	3'-0" X 3'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
I	(2) 2'-6" X 4'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
J	4'-0" X 4'-0"	5.8 SQ FT	YES	REMARK 1,4,5,7,8

WINDOW REMARKS

REMARK 1: SEE FLOOR PLAN FOR EXACT QUANTITIES. SEE EXTERIOR ELEVATIONS FOR SET HEIGHT.
 REMARK 2: WINDOW IS TO BE A DOUBLE HUNG UNIT.
 REMARK 3: WINDOW IS A FIXED UNIT.
 REMARK 4: WINDOW GLASS TO BE CLEAR DOUBLE PANE / INSULATED GLASS.
 REMARK 5: WINDOW IS TO BE A VINYL WINDOW.
 REMARK 6: SEE EXTERIOR ELEVATIONS FOR WINDOW MUTTON DESIGN.
 REMARK 7: VERIFY W/ WINDOW MANUF THAT THE WINDOW MEETS EGRESS REQ.
 REMARK 8: WINDOW IS TO BE SLIDER EGRESS UNIT.



GENERAL FLOOR PLAN NOTES

- ROOM NAME → ROOM NAME
 ROOM NUMBER → ROOM NUMBER
- SEE CEILING PLANS FOR OTHER FINISH INFORMATION.
 - SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR FURTHER CLARIFICATION.
 - THE KEYNOTES LISTED ON THIS SHEET APPLY TO THIS SHEET ONLY. THE DIMENSIONS SHOWN ON THIS SHEET ARE FROM FACE OF ROUGH FRAMING MATERIAL TO FACE OF ROUGH FRAMING MATERIAL. GENERAL CONTRACTOR IS TO ADJUST FOR CRITICAL FINISH DIMENSIONS (CABINET DIMENSIONS, ETC) AS NEEDED.

KEYNOTES

- LINE OF CEILING TRANSITION ABOVE (SHOWN HIDDEN). SEE REFLECTED CEILING PLAN.
- CONTRACTOR TO PROVIDE AND INSTALL A CONTINUOUS GRASPABLE WOOD HANDRAIL (1-1/4" DIA) AT THIS LOCATION. HANDRAIL SHALL BE INSTALLED 34" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS. HANDRAIL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE ADJACENT WALL AND THE EDGE OF THE HANDRAIL.
- HIGH EFFICIENCY GAS FURNACE AT THIS LOCATION. ALL MECHANICAL SERVICES / DUCT WORK IS TO BE DESIGN / BUILT BY THE MECHANICAL CONTRACTOR. ALL DUCT WORK CHASES IN FLOOR SYSTEMS ARE TO BE COORDINATED PRIOR TO FABRICATION OF THE FLOOR SYSTEM. TIPS 60 GALLON DIRECT VENT GAS WATER HEATER W/ EXPANSION TANK PROVIDED AND INSTALLED BY THE PLUMBING CONTRACTOR.
- 200 AMP ELECTRICAL PANEL AT THIS LOCATION. ALL ELECTRICAL WORK IS TO BE DESIGN / BUILT BY THE ELECTRICAL CONTRACTOR.
- GAS FIREPLACE AT THIS LOCATION.
- 8" SQUARE PERMACAST COLUMN W/ BASE & CAP. COLOR BY OWNER.
- CONTRACTOR TO INSTALL 3/4" HARDWOOD FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL PORCELAIN TILE FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL NEW LVP FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL NEW CARPET FLOORING AT THIS LOCATION.
- CONTRACTOR TO PROVIDE AN APPROPRIATE FLOOR TRANSITION AT THIS LOCATION. TRANSITION HEIGHT NOT TO EXCEED 1/2".
- 36" HIGH GUARD RAILING AT THIS LOCATION. SPACING OF GUARD RAIL BALUSTERS TO BE 4" OR LESS.
- PROVIDE 5/8" GYP BOARD ON INTERIOR WALL & GARAGE SIDE OF THE COMMON HOUSE / GARAGE WALLS UP TO THE UNDERSIDE OF THE GARAGE GYPSUM BOARD CEILING. PROVIDE A MIN OF R-13 INSULATION IN WALL BETWEEN THE GARAGE AND THE COMMON HOUSE WALL.
- GAS COOKTOP WITH DRYWALL HOOD ABOVE. VENT HOOD DIRECTLY TO THE EXTERIOR. TYP. HOOD TO EXHAUST 300 CFM. BOTTOM OF HOOD TO BE 7" ABOVE FINISHED FLOOR.
- ELECTRIC DRYER AT THIS LOCATION. PROVIDE 4" EXHAUST DUCT DIRECTLY TO THE EXTERIOR. TYP. 3/4" GROUND. 220V SERVICE.
- WIRE SHELVING TO BE PROVIDED BY / INSTALLED BY GENERAL CONTRACTOR.
- FLOOR DRAIN PROVIDED AT THIS LOCATION. CONTRACTOR IS TO POSITIVELY SLOPE CONCRETE TOWARDS DRAIN.
- PLUMBING FIXTURE AT THIS LOCATION AS SHOWN.
- INSTALL AN EXTERIOR HOSE BIB AT THIS LOCATION. PROVIDE A SHUT OFF VALVE INTERIOR SIDE OF WALL OR IN BASEMENT AREA BELOW. TYP.
- SHOWER GLASS AT THIS LOCATION IS TO BE 3/8" TYPE 2 SAFETY GLASS. GLASS TO BE FULL HEIGHT TO CEILING FOR STEAM SHOWER.
- SUMP PUMP PIT AT THIS LOCATION. TYP.
- BASE / UPPER CABINETS WITH COUNTER. CABINET & COUNTER TOP STYLE / TYPE / COLOR TO BE SELECTED BY CONTRACTOR.
- WALL AT THIS LOCATION IS TO BE A 2X6 WOOD STUD WALL AT 16" O.C.
- ROOF RIDGE VENT AT THIS LOCATION.
- PRE-FINISHED DOWN SPOUT AT THIS LOCATION. SEE ELEVATIONS.
- 25 YEAR ARCHITECTURAL SHINGLES PLACED OVER ONE LAYER OF 15 POUND FELT PAPER UNDER FRAMING SHALL BE APPLIED SHINGLE FASHION. PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2". FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6" INSTALL AN ICE AND WATER SHIELD UNDER SIDE OF SHINGLES.
- PRE-FINISHED ALUMINUM GUTTERS AT THIS LOCATION. SEE ELEVATIONS.

WALL TYPES DESCRIPTIONS

- ANY WALL NOT INDICATED OR KEYED FOR TYPE AND CONSTRUCTION SHALL BE CLARIFIED BY INTERPRETATION FROM THE ARCHITECT PRIOR TO CONSTRUCTION.
 - INTERIOR NON-STRUCTURAL WALLS SHALL BE INSTALLED PER THEIR RESPECTIVE STUD MANUFACTURERS LIMITING HEIGHT INFORMATION AND/OR BRACED AT MID-SPAN.
 - ALL WALLS W/ PLUMBING FIXTURES SHALL RECEIVE MOISTURE RESISTANT GYP. BOARD.
 - SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS & OTHER FINISH INFORMATION.
 - PROVIDE NECESSARY BLOCKING IN WALLS FOR INSTALLATION OF NEW LIGHT FIXTURES, EQUIPMENT, ETC. COORDINATE BLOCKING LOCATIONS W/ ELECTRICIAN PRIOR TO DRYWALL.
- NOTE: ALL NEW INTERIOR / EXTERIOR WALLS ON THE BASEMENT / FIRST FLOOR ARE TO BE 2X4 WOOD STUD WALLS @ 16" O.C. UNLESS OTHERWISE NOTED. MINIMUM FIBER STRESS OF ANY NEW FRAMING MEMBERS TO EQUAL 1,250 ALIGN NEW STUD WALL W/ FRAMING ABOVE / BELOW. SEE FRAMING PLAN. ALL EXTERIOR WALLS TO RECEIVE R-15 3.5" THICK BATT INSULATION. ALL INTERIOR WALLS TO RECEIVE 1/2" TYPE X GYP BOARD. PROVIDE MOISTURE RESISTANT GYP BOARD AT WET LOCATIONS. SEE SECTIONS FOR FURTHER CLARIFICATION AND OTHER MATERIAL THICKNESS / DIMENSIONS. CONTRACTOR TO CHEMICALLY TREAT SOIL FOR PROTECTION AGAINST TERMITES AT THE PERIMETER OF THE RESIDENCE. ALL 2X4 WOOD BASE PLATES IN CONTACT WITH CONCRETE ARE TO BE TREATED LUMBER.

INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200 OR A SMOKE DEVELOPMENT INDEX EXCEEDING 450.
 ALL FOAM PLASTICS SHALL HAVE A FLAME SPREAD RATING OF 75 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
 TOP AND BOTTOM OF ALL CONVENTIONAL DOUBLE STUD, FURRED SPACES, AND STAGGERED STUD FRAME WALLS ARE TO BE FIRE BLOCKED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0". FIRE BLOCKING REQUIRED AT ALL SOFFITS AND DROPPED CEILINGS. FIRE BLOCKING REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYPSUM BOARD. FIRE BLOCKING REQUIRED AROUND VENT, PIPE, AND DUCT PENETRATIONS OF CEILINGS AND FLOORS. ALL SPACES BETWEEN THE CHIMNEY AND THE FLOORS AND CEILINGS THE CHIMNEY PASSES THROUGH SHALL BE FIRE BLOCKED (1" DEPTH OF BATT OR BLANKET OF MINERAL WOOL OR GLASS FIBER SUPPORTED BY STRIPS OF METAL OR METAL LATH).

ARCHITECT



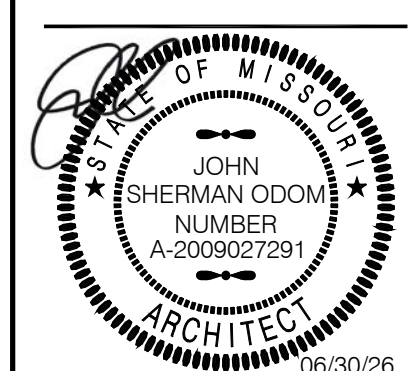
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 MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009030445

PROJECT:
 NEW CUSTOM RESIDENCE
 FOR:
 1175 HILLARD ROAD
 GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR

 BENCHMARK HOMES
 13281 SPINDLE LANE
 ST LOUIS, MISSOURI 63122
 OFFICE / FAX: 1.314.909.7593
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JOHN S. ODOM, ARCHITECT
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Drawn JSO Date 06/30/26

A1.2
 FIRST FLOOR PLAN

DOOR SCHEDULE

NO	DOOR SIZE	DOOR	FRAME	HRDW SET	REMARKS
002	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
003	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
004	2'-8" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
005A	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
005B	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
006	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
007	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
008	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
101	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
102	(2) 1'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
103	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
104	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
105	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
107A	2'-8" X 8'-0" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
107B	2'-8" X 8'-0"	MTL/F1	WD/F1	SET 2	REMARK 2,3
108	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
110	16'-0" X 8'-0" O.H.D.	MTL/F2/GL	MTL/F2		
111	2'-6" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
112A	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112B	3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
113	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
114	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
115	2'-6" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
200	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
202	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
203	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
204	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
205	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
206	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
208	2'-4" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
209A	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
209B	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
211	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
212	(2) 2'-4" X 6'-8" SLIDER	WD/F1	WD/F1	SET 5	REMARK 1

DOOR & FRAME FINISHES

MTL = METAL DOOR OR FRAME IN = INSULATED DOOR
 GL = FULL VIEW GLASS DOOR F1 = PAINTED
 WD = WOOD F2 = PRE-FINISHED

DOOR REMARKS

REMARK 1: DOOR IS TO BE A 2 PANEL HOLLOW CORE DOOR.
 REMARK 2: DOOR IS TO BE A 1 HOUR FIRE RATED DOOR.
 REMARK 3: DOOR TO BE INSTALLED WITH AN AUTOMATIC CLOSING DEVICE.

DOOR HARDWARE SETS

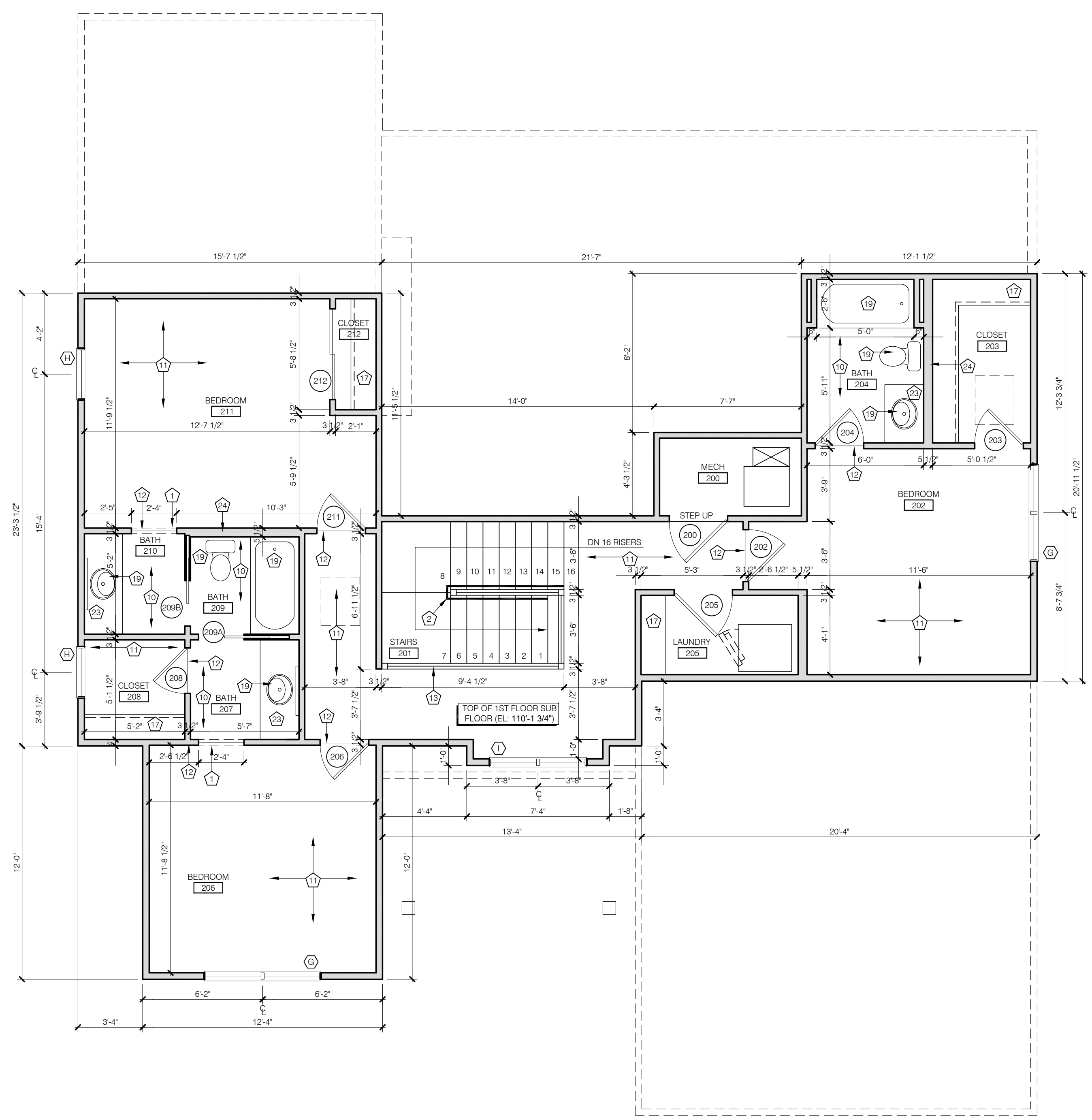
SET 1 "KEYED" LOCK SET AND OPTIONAL DEAD BOLT SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER. KEY PER OWNER'S REQUESTS.
 SET 2 "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 3 "PASSAGE" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 4 POCKET DOOR "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER.
 SET 5 SLIDER DOOR HARDWARE BY DOOR MANUF.

WINDOW SCHEDULE

NO	WINDOW SIZE	CLEAR GLASS OPENING AREA	MEETS EGRESS	REMARKS
A	3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
B	(2) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
C	(3) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
D	3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
E	6'-0" X 2'-0"	8.3 SQ FT	NO	REMARK 1,3,4,5,6
F	(2) 3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
G	(2) 3'-0" X 5'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
H	3'-0" X 3'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
I	(2) 2'-6" X 4'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
J	4'-0" X 4'-0"	5.8 SQ FT	YES	REMARK 1,4,5,7,8

WINDOW REMARKS

REMARK 1: SEE FLOOR PLAN FOR EXACT QUANTITIES. SEE EXTERIOR ELEVATIONS FOR SET HEIGHT.
 REMARK 2: WINDOW IS TO BE A DOUBLE HUNG UNIT.
 REMARK 3: WINDOW IS A FIXED UNIT.
 REMARK 4: WINDOW GLASS TO BE CLEAR DOUBLE PANE / INSULATED GLASS.
 REMARK 5: WINDOW IS TO BE A VINYL WINDOW.
 REMARK 6: SEE EXTERIOR ELEVATIONS FOR WINDOW MUTTON DESIGN.
 REMARK 7: VERIFY W/ WINDOW MANUF THAT THE WINDOW MEETS EGRESS REQ.
 REMARK 8: WINDOW IS TO BE SLIDER EGRESS UNIT.



GENERAL FLOOR PLAN NOTES

ROOM NAME → ROOM NAME
 100 → ROOM NUMBER

- SEE CEILING PLANS FOR OTHER FINISH INFORMATION.
- SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR FURTHER CLARIFICATION.
- THE KEYNOTES LISTED ON THIS SHEET APPLY TO THIS SHEET ONLY. THE DIMENSIONS SHOWN ON THIS SHEET ARE FROM FACE OF ROUGH FRAMING MATERIAL TO FACE OF ROUGH FRAMING MATERIAL. GENERAL CONTRACTOR IS TO ADJUST FOR CRITICAL FINISH DIMENSIONS (CABINET DIMENSIONS, ETC) AS NEEDED.

KEYNOTES

- LINE OF CEILING TRANSITION ABOVE (SHOWN HIDDEN). SEE REFLECTED CEILING PLAN.
- CONTRACTOR TO PROVIDE AND INSTALL A CONTINUOUS GRASPABLE WOOD HANDRAIL (1-1/4" DIA) AT THIS LOCATION. HANDRAIL SHALL BE INSTALLED 34" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS. HANDRAIL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE ADJACENT WALL AND THE EDGE OF THE HANDRAIL.
- HIGH EFFICIENCY GAS FURNACE AT THIS LOCATION. ALL MECHANICAL SERVICES / DUCT WORK IS TO BE DESIGN / BUILD BY THE MECHANICAL CONTRACTOR. ALL DUCT WORK CHASES IN FLOOR SYSTEMS ARE TO BE COORDINATED PRIOR TO FABRICATION OF THE FLOOR SYSTEM / TIPS 60 GALLON DIRECT VENT GAS WATER HEATER W/ EXPANSION TANK PROVIDED AND INSTALLED BY THE PLUMBING CONTRACTOR.
- 200 AMP ELECTRICAL PANEL AT THIS LOCATION. ALL ELECTRICAL WORK IS TO BE DESIGN / BUILD BY THE ELECTRICAL CONTRACTOR.
- GAS FIREPLACE AT THIS LOCATION.
- 8" SQUARE PERMACAST COLUMN W/ BASE & CAP. COLOR BY OWNER.
- CONTRACTOR TO INSTALL 3/4" HARDWOOD FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL PORCELAIN TILE FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL NEW LVP FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL NEW CARPET FLOORING AT THIS LOCATION.
- CONTRACTOR TO PROVIDE AN APPROPRIATE FLOOR TRANSITION AT THIS LOCATION. TRANSITION HEIGHT NOT TO EXCEED 1/2".
- 36" HIGH GUARD RAILING AT THIS LOCATION. SPACING OF GUARD RAIL BALUSTERS TO BE 4" OR LESS.
- PROVIDE 5/8" GYP BOARD ON INTERIOR WALL & GARAGE SIDE OF THE COMMON HOUSE / GARAGE WALLS UP TO THE UNDERSIDE OF THE GARAGE GYPSUM BOARD CEILING. PROVIDE A MIN OF R-13 INSULATION IN WALL BETWEEN THE GARAGE AND THE COMMON HOUSE WALL.
- GAS COOKTOP WITH DRYWALL HOOD ABOVE. VENT HOOD DIRECTLY TO THE EXTERIOR. TYP. HOOD TO EXHAUST 300 CFM. BOTTOM OF HOOD TO BE 7" ABOVE FINISHED FLOOR.
- ELECTRIC DRYER AT THIS LOCATION. PROVIDE 4" EXHAUST DUCT DIRECTLY TO THE EXTERIOR. TYP. 3 POLE GROUND. 220V SERVICE.
- WIRE SHELVING TO BE PROVIDED BY / INSTALLED BY GENERAL CONTRACTOR.
- FLOOR DRAIN PROVIDED AT THIS LOCATION. CONTRACTOR IS TO POSITIVELY SLOPE CONCRETE TOWARDS DRAIN.
- PLUMBING FIXTURE AT THIS LOCATION AS SHOWN.
- INSTALL AN EXTERIOR HOSE BIB AT THIS LOCATION. PROVIDE A SHUT OFF VALVE INTERIOR SIDE OF WALL OR IN BASEMENT AREA BELOW. TYP.
- SHOWER GLASS AT THIS LOCATION IS TO BE 3/8" TYPE 2 SAFETY GLASS. GLASS TO BE FULL HEIGHT TO CEILING FOR STEAM SHOWER.
- SUMP PUMP PIT AT THIS LOCATION. TYP.
- BASE / UPPER CABINETS WITH COUNTER. CABINET & COUNTER TOP STYLE / TYPE / COLOR TO BE SELECTED BY CONTRACTOR.
- WALL AT THIS LOCATION IS TO BE A 2X6 WOOD STUD WALL AT 16" O.C.
- ROOF RIDGE VENT AT THIS LOCATION.
- PRE-FINISHED DOWN SPOUT AT THIS LOCATION. SEE ELEVATIONS.
- 25 YEAR ARCHITECTURAL SHINGLES PLACED OVER ONE LAYER OF 15 POUND FELT PAPER. UNDER SHINGLES SHALL BE APPLIED SHINGLES IN FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2". FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6" INSTALL AN ICE AND WATER SHIELD UNDER SIDE OF SHINGLES.
- 5" PRE-FINISHED ALUMINUM GUTTERS AT THIS LOCATION. SEE ELEVATIONS.

WALL TYPES DESCRIPTIONS

- ANY WALL NOT INDICATED OR KEVED FOR TYPE AND CONSTRUCTION SHALL BE CLARIFIED BY INTERPRETATION FROM THE ARCHITECT PRIOR TO CONSTRUCTION.
 - INTERIOR NON-STRUCTURAL WALLS SHALL BE INSTALLED PER THEIR RESPECTIVE STUD MANUFACTURERS LIMITING HEIGHT INFORMATION AND/OR BRACED AT MID-SPAN.
 - ALL WALLS W/ PLUMBING FIXTURES SHALL RECEIVE MOISTURE RESISTANT GYP. BOARD.
 - SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS & OTHER FINISH INFORMATION.
 - PROVIDE NECESSARY BLOCKING IN WALLS FOR INSTALLATION OF NEW LIGHT FIXTURES, EQUIPMENT, ETC. COORDINATE BLOCKING LOCATIONS W/ ELECTRICIAN PRIOR TO DRYWALL.
- NOTE: ALL NEW INTERIOR / EXTERIOR WALLS ON THE BASEMENT / FIRST FLOOR ARE TO BE 2X4 WOOD STUD WALLS @ 16" O.C. UNLESS OTHERWISE NOTED. MINIMUM FIBER STRESS OF ANY NEW FRAMING MEMBERS TO EQUAL 1,250. ALIGN NEW STUD WALL W/ FRAMING ABOVE / BELOW. SEE FRAMING PLAN. ALL EXTERIOR WALLS TO RECEIVE R-15 3.5" THICK BATT INSULATION. ALL INTERIOR WALLS TO RECEIVE 1/2" TYPE X GYP BOARD. PROVIDE MOISTURE RESISTANT GYP BOARD AT WET LOCATIONS. SEE SECTIONS FOR FURTHER CLARIFICATION AND OTHER MATERIAL THICKNESS / DIMENSIONS. CONTRACTOR TO CHEMICALLY TREAT SOIL FOR PROTECTION AGAINST TERMITES AT THE PERIMETER OF THE RESIDENCE. ALL 2X4 WOOD BASE PLATES IN CONTACT WITH CONCRETE ARE TO BE TREATED LUMBER.

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 TOP AND BOTTOM OF ALL CONVENTIONAL DOUBLE STUD, FURRED SPACES, AND STAGGERED STUD FRAME WALLS ARE TO BE FIRE BLOCKED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0". FIRE BLOCKING REQUIRED AT ALL SOFFITS AND DROPPED CEILINGS. FIRE BLOCKING REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYPSUM BOARD. FIRE BLOCKING REQUIRED AROUND VENT, PIPE, AND DUCT PENETRATIONS OF CEILINGS AND FLOORS. ALL SPACES BETWEEN THE CHIMNEY AND THE FLOORS AND CEILINGS THE CHIMNEY PASSES THROUGH SHALL BE FIRE BLOCKED (1" DEPTH OF BATT OR BLANKET OF MINERAL WOOL OR GLASS FIBER SUPPORTED BY STRIPS OF METAL OR METAL LATH).

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PROJECT:

NEW CUSTOM RESIDENCE FOR:
 1175 HILLARD ROAD
 GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR

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06/30/26
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Drawn: JSO Date: 06/30/26

DOOR SCHEDULE

NO	DOOR SIZE	DOOR	FRAME	HRDW SET	REMARKS
002	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
003	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
004	2'-8" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
005A	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
005B	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
006	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
007	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
008	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
101	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
102	(2) 1'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
103	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
104	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
105	(2) 3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
107A	2'-8" X 8'-0" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
107B	2'-8" X 8'-0"	MTL/F1	WD/F1	SET 2	REMARK 2,3
108	2'-8" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
110	16'-0" X 8'-0" O.H.D.	MTL/F2/GL	MTL/F2		
111	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112A	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
112B	3'-0" X 8'-0"	MTL/F2/GL	MTL/F2	SET 1	
113	2'-8" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
114	2'-6" X 8'-0"	WD/F1	WD/F1	SET 2	REMARK 1
115	2'-6" X 8'-0"	WD/F1	WD/F1	SET 3	REMARK 1
200	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
202	2'-8" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
203	2'-6" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
204	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
205	3'-0" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
206	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
208	2'-4" X 6'-8"	WD/F1	WD/F1	SET 3	REMARK 1
209A	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
209B	2'-4" X 6'-8" POCKET	WD/F1	WD/F1	SET 4	REMARK 1
211	2'-6" X 6'-8"	WD/F1	WD/F1	SET 2	REMARK 1
212	(2) 2'-4" X 6'-8" SLIDER	WD/F1	WD/F1	SET 5	REMARK 1

DOOR & FRAME FINISHES

MTL = METAL DOOR OR FRAME	IN = INSULATED DOOR
GL = FULL VIEW GLASS DOOR	F1 = PAINTED
WD = WOOD	F2 = PRE-FINISHED

DOOR REMARKS

REMARK 1: DOOR IS TO BE A 2 PANEL HOLLOW CORE DOOR.
 REMARK 2: DOOR IS TO BE A 1 HOUR FIRE RATED DOOR.
 REMARK 3: DOOR TO BE INSTALLED WITH AN AUTOMATIC CLOSING DEVICE.

DOOR HARDWARE SETS

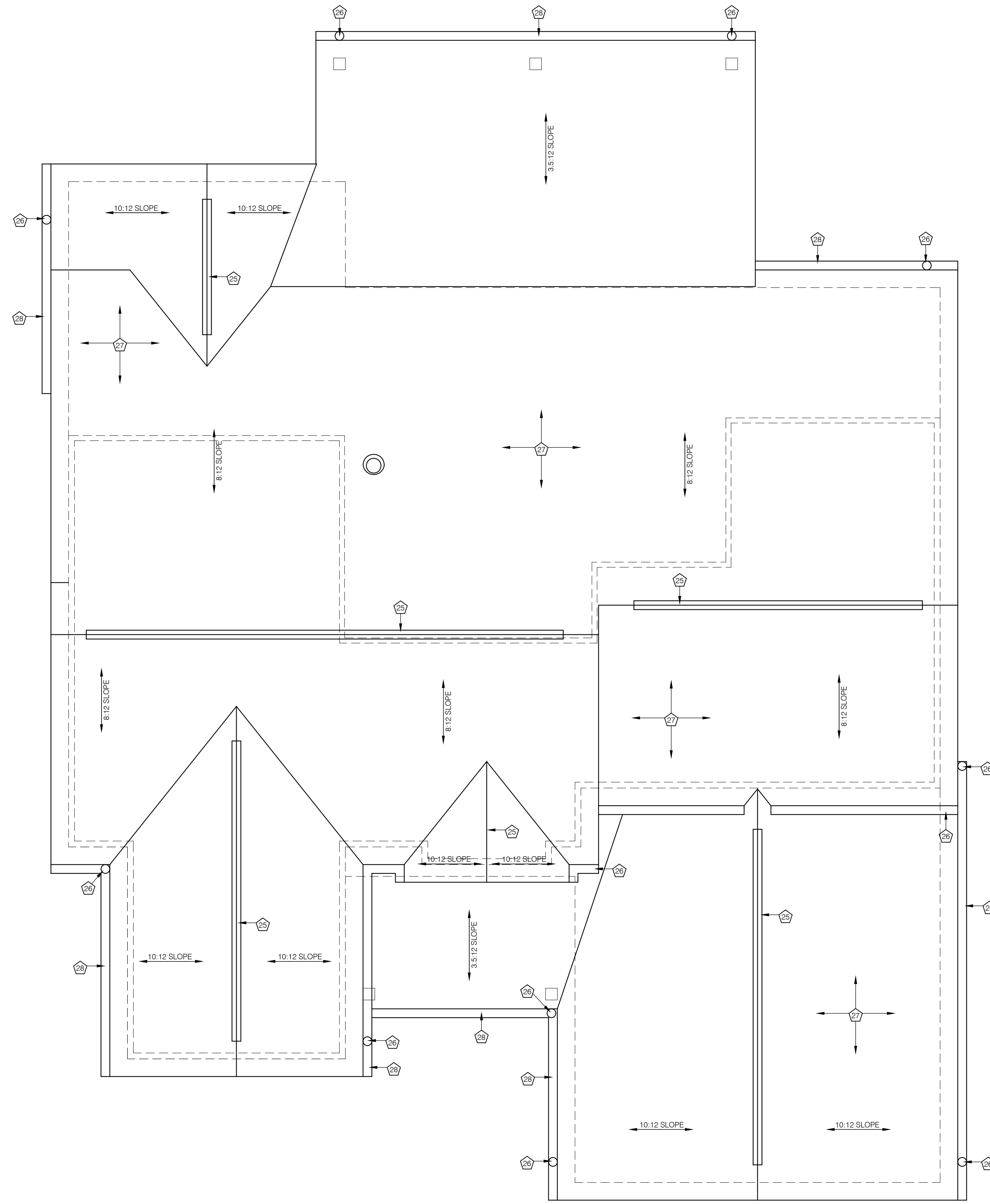
SET 1 "KEYED" LOCK SET AND OPTIONAL DEAD BOLT SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER. KEY PER OWNERS REQUESTS.
 SET 2 "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 3 "PASSAGE" SET. HARDWARE FINISH TO BE SELECTED BY OWNER. LEVER OR KNOB STYLE TO BE SELECTED BY OWNER.
 SET 4 POCKET DOOR "PRIVACY" SET. HARDWARE FINISH TO BE SELECTED BY OWNER.
 SET 5 SLIDER DOOR HARDWARE BY DOOR MANUF.

WINDOW SCHEDULE

NO	WINDOW SIZE	CLEAR GLASS OPENING AREA	MEETS EGRESS	REMARKS
A	3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
B	(2) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
C	(3) 3'-0" X 6'-0"	6.9 SQ FT	YES	REMARK 1,2,4,5,6,7
D	3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
E	6'-0" X 2'-0"	8.3 SQ FT	NO	REMARK 1,3,4,5,6
F	(2) 3'-0" X 3'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
G	(2) 3'-0" X 5'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
H	3'-0" X 3'-3"	5.8 SQ FT	YES	REMARK 1,2,4,5,6,7
I	(2) 2'-6" X 4'-6"	3.6 SQ FT	NO	REMARK 1,2,4,5,6
J	4'-0" X 4'-0"	5.8 SQ FT	YES	REMARK 1,4,5,7,8

WINDOW REMARKS

REMARK 1: SEE FLOOR PLAN FOR EXACT QUANTITIES. SEE EXTERIOR ELEVATIONS FOR SET HEIGHT.
 REMARK 2: WINDOW IS TO BE A DOUBLE HUNG UNIT.
 REMARK 3: WINDOW IS A FIXED UNIT.
 REMARK 4: WINDOW GLASS TO BE CLEAR DOUBLE PANE / INSULATED GLASS.
 REMARK 5: WINDOW IS TO BE A VINYL WINDOW.
 REMARK 6: SEE EXTERIOR ELEVATIONS FOR WINDOW MUTTON DESIGN.
 REMARK 7: VERIFY W/ WINDOW MANUF THAT THE WINDOW MEETS EGRESS REQ.
 REMARK 8: WINDOW IS TO BE SLIDER EGRESS UNIT.



GENERAL FLOOR PLAN NOTES

ROOM NAME → ROOM NAME
 100 → ROOM NUMBER

- SEE CEILING PLANS FOR OTHER FINISH INFORMATION.
- SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR FURTHER CLARIFICATION.
- THE KEYNOTES LISTED ON THIS SHEET APPLY TO THIS SHEET ONLY. THE DIMENSIONS SHOWN ON THIS SHEET ARE FROM FACE OF ROUGH FRAMING MATERIAL TO FACE OF ROUGH FRAMING MATERIAL. GENERAL CONTRACTOR IS TO ADJUST FOR CRITICAL FINISH DIMENSIONS (CABINET DIMENSIONS, ETC) AS NEEDED.

KEYNOTES

- LINE OF CEILING TRANSITION ABOVE (SHOWN HIDDEN). SEE REFLECTED CEILING PLAN.
- CONTRACTOR TO PROVIDE AND INSTALL A CONTINUOUS GRASPABLE WOOD HANDRAIL (1-1/4" DIAM) AT THIS LOCATION. HANDRAIL SHALL BE INSTALLED 34" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS. HANDRAIL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE ADJACENT WALL AND THE EDGE OF THE HANDRAIL.
- HIGH EFFICIENCY GAS FURNACE AT THIS LOCATION. ALL MECHANICAL SERVICES / DUCT WORK IS TO BE DESIGN / BUILD BY THE MECHANICAL CONTRACTOR. ALL DUCT WORK CHASES IN FLOOR SYSTEMS ARE TO BE COORDINATED PRIOR TO FABRICATION OF THE FLOOR SYSTEM / TIPS 60 GALLON DIRECT VENT GAS WATER HEATER W/ EXPANSION TANK PROVIDED AND INSTALLED BY THE PLUMBING CONTRACTOR.
- 200 AMP ELECTRICAL PANEL AT THIS LOCATION. ALL ELECTRICAL WORK IS TO BE DESIGN / BUILD BY THE ELECTRICAL CONTRACTOR.
- GAS FIREPLACE AT THIS LOCATION.
- 8" SQUARE PERMACAST COLUMN W/ BASE & CAP. COLOR BY OWNER.
- CONTRACTOR TO INSTALL 3/4" HARDWOOD FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL PORCELAIN TILE FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL NEW LVP FLOORING AT THIS LOCATION.
- CONTRACTOR TO INSTALL NEW CARPET FLOORING AT THIS LOCATION.
- CONTRACTOR TO PROVIDE AN APPROPRIATE FLOOR TRANSITION AT THIS LOCATION. TRANSITION HEIGHT NOT TO EXCEED 1/2".
- 36" HIGH GUARD RAILING AT THIS LOCATION. SPACING OF GUARD RAIL BALUSTERS TO BE 4" OR LESS.
- PROVIDE 5/8" GYP BOARD ON INTERIOR WALL & GARAGE SIDE OF THE COMMON HOUSE / GARAGE WALLS UP TO THE UNDERSIDE OF THE GARAGE GYPSUM BOARD CEILING. PROVIDE A MIN OF R-13 INSULATION IN WALL BETWEEN THE GARAGE AND THE COMMON HOUSE WALL.
- GAS COOKTOP WITH DRYWALL HOOD ABOVE. VENT HOOD DIRECTLY TO THE EXTERIOR. TYP. HOOD TO EXHAUST 300 CFM. BOTTOM OF HOOD TO BE 27" ABOVE FINISHED FLOOR.
- ELECTRIC DRYER AT THIS LOCATION. PROVIDE 4" EXHAUST DUCT DIRECTLY TO THE EXTERIOR. TYP. 3 POLE GROUND. 220V SERVICE.
- WIRE SHELVING TO BE PROVIDED BY / INSTALLED BY GENERAL CONTRACTOR.
- FLOOR DRAIN PROVIDED AT THIS LOCATION. CONTRACTOR IS TO POSITIVELY SLOPE CONCRETE TOWARDS DRAIN.
- PLUMBING FIXTURE AT THIS LOCATION AS SHOWN.
- INSTALL AN EXTERIOR HOSE BIB AT THIS LOCATION. PROVIDE A SHUT OFF VALVE INTERIOR SIDE OF WALL OR IN BASEMENT AREA BELOW. TYP.
- SHOWER GLASS AT THIS LOCATION IS TO BE 3/8" TYPE 2 SAFETY GLASS. GLASS TO BE FULL HEIGHT TO CEILING FOR STEAM SHOWER.
- SUMP PUMP PIT AT THIS LOCATION. TYP.
- BASE / UPPER CABINETS WITH COUNTER. CABINET & COUNTER TOP STYLE / TYPE / COLOR TO BE SELECTED BY CONTRACTOR.
- WALL AT THIS LOCATION IS TO BE A 2X6 WOOD STUD WALL AT 16" O.C.
- ROOF RIDGE VENT AT THIS LOCATION.
- PRE-FINISHED DOWN SPOUT AT THIS LOCATION. SEE ELEVATIONS.
- 25 YEAR ARCHITECTURAL SHINGLES PLACED OVER ONE LAYER OF 15 POUND FELT PAPER. UNDER FRAMING SHALL BE APPLIED SHINGLES IN FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2". FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6" INSTALL AN ICE AND WATER SHIELD AT UNDERSIDE OF SHINGLES.
- 5" PRE-FINISHED ALUMINUM GUTTERS AT THIS LOCATION. SEE ELEVATIONS.

WALL TYPES DESCRIPTIONS

- ANY WALL NOT INDICATED OR KEYED FOR TYPE AND CONSTRUCTION SHALL BE CLARIFIED BY INTERPRETATION FROM THE ARCHITECT PRIOR TO CONSTRUCTION.
 - INTERIOR NON-STRUCTURAL WALLS SHALL BE INSTALLED PER THEIR RESPECTIVE STUD MANUFACTURERS LIMITING HEIGHT INFORMATION AND/OR BRACED AT MID-SPAN.
 - ALL WALLS W/ PLUMBING FIXTURES SHALL RECEIVE MOISTURE RESISTANT GYP. BOARD.
 - SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS & OTHER FINISH INFORMATION.
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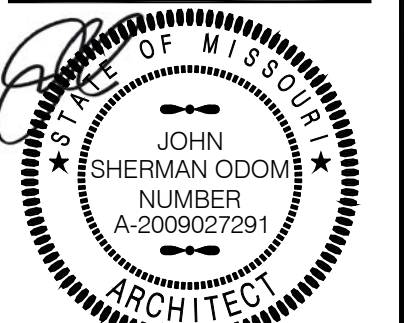
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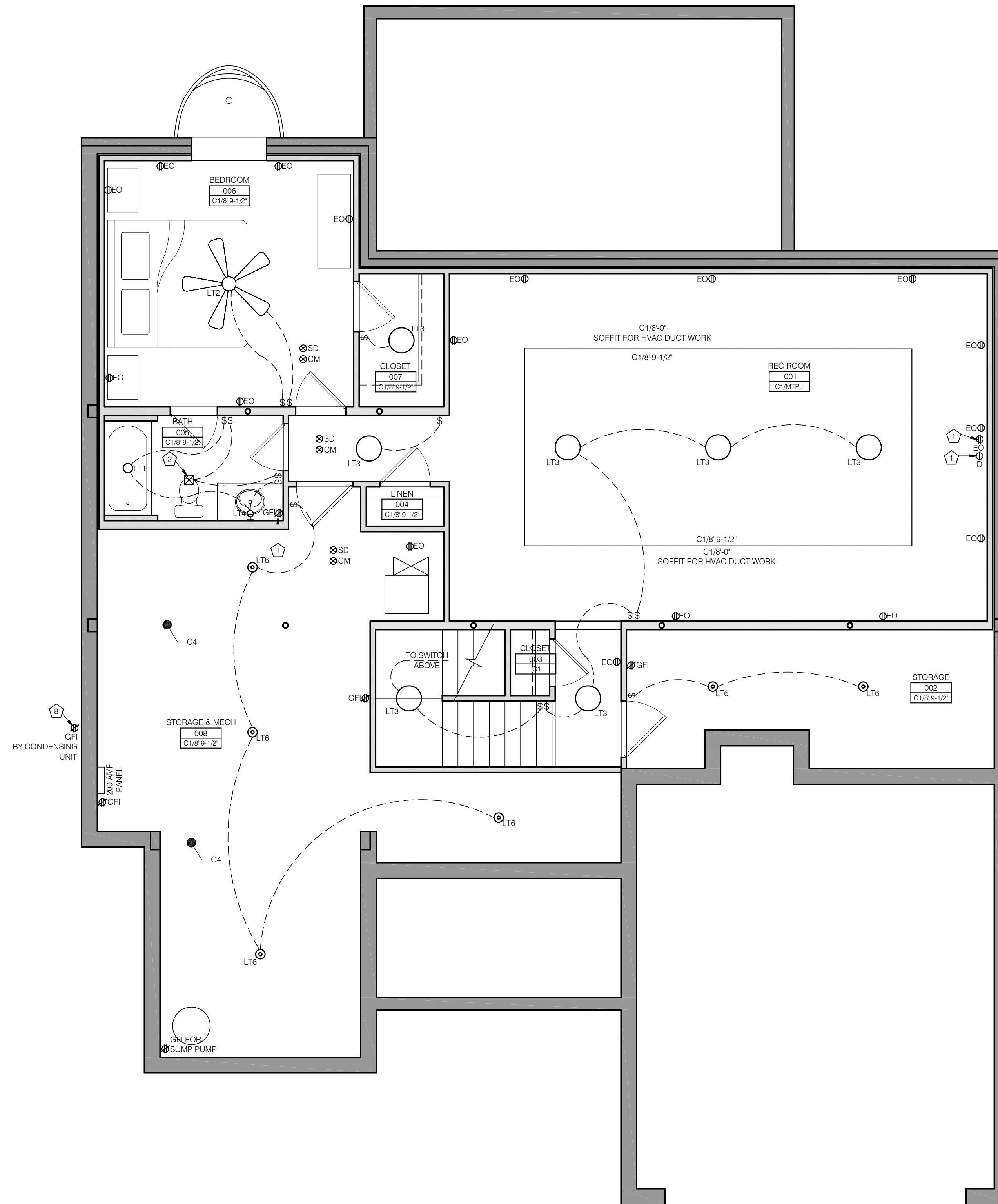


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Drawn: JSD Date: 06/30/26



CEILING PLAN LEGEND & NOTES

- | | |
|-----------|---|
| ROOM NAME | ROOM NAME |
| 100 | ROOM NUMBER |
| C1/8'-0" | CEILING TYPE / HEIGHT |
| ○ | RECESSED CAN LIGHT FIXTURE |
| ○ | PENDANT OR FLUSH MOUNTED LIGHT FIXTURE |
| ○ | DECORATIVE WALL SCONCE |
| ○ | PORCELAIN KEYLESS FIXTURE |
| ⊠ | CEILING MOUNTED EXHAUST FAN |
| ⊙SD | CEILING MOUNTED SMOKE DETECTOR & CARBON MONOXIDE DETECTOR. ALL DETECTORS ARE TO BE AC POWERED, U.L. LISTED WITH BATTERY BACKUP AND SHALL BE PLACED THROUGHOUT THE DWELLING UNIT AS SHOWN ON THE RCP AND SWITCHING PLANS. ALL DETECTORS WITHIN THE DWELLING SHALL BE INTERCONNECTED AND HARD WIRED SO THAT THE ACTIVATION OF ANY ALARM WILL SOUND ALL ALARMS THROUGHOUT THE HOUSE. |

- THE KEYED NOTES LISTED ON THIS SHEET APPLY TO THIS SHEET ONLY.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE FROM FACE OF ROUGH FRAMING TO FACE OF ROUGH FRAMING.

SWITCHING PLAN LEGEND

- | | |
|----|--|
| S | WALL SWITCH |
| EO | ELECTRICAL RECEPTACLE (NON GFI) |
| EO | PROVIDE ARC FAULT CIRCUIT INTERRUPTER (AFCI) AT ALL BEDROOM LOCATIONS. |
| GF | GFI ELECTRICAL RECEPTACLE |
| GF | PROVIDE WEATHER PROTECTED ENCLOSURE AT ALL EXTERIOR LOCATIONS. |
| DO | WALL DATA RECEPTACLE |

GENERAL CEILING NOTES

- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING WITH CONSTRUCTION.

GENERAL ELECTRICAL NOTES

INTER SYSTEM BONDING TERMINAL SHALL BE PROVIDED FOR GROUNDING COMMUNICATION SYSTEMS (CABLE TV & SATELLITE DISHES).

IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5'-0" OF THE POINT OF ENTRANCE TO THE BUILDING. A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53.

KEYNOTES

- EXACT HEIGHT OF OUTLET TO BE COORDINATED WITH THE OWNER. SEE THE FLOOR PLAN FOR FURTHER CLARIFICATION.
- BATHROOM EXHAUST FAN. PROVIDE A MINIMUM OF 50 CFM VENT FAN DIRECTLY TO THE EXTERIOR. NO LIGHT ON FAN.
- PROVIDE DOOR BELL AT THIS LOCATION.
- ELECTRICAL OUTLET AT THIS LOCATION IS TO BE PLACED ON THE SIDE OF THE KITCHEN ISLAND. SEE FLOOR PLAN. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION.
- 24"X36" ATTIC ACCESS SCUTTLE PANEL.
- ELECTRICIAN TO HARDWIRE A U.C. DISHWASHER AT THIS LOCATION. SEE FLOOR PLAN.
- ELECTRICAL SERVICE FOR UNDER CABINET LIGHTING AT THIS LOCATION. COORDINATE ALL FINAL LOCATIONS & SWITCHING WITH CONTRACTOR. ALL UNDER COUNTER LIGHTING SHALL BE SWITCHED TOGETHER.
- PROVIDE A WATER PROOF BOX FOR WET / OUTDOOR GFI LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR GAS FIREPLACE STRIKER. COORDINATE ON SITE WITH EXACT GAS FIREPLACE MODEL / INSTALL INSTRUCTIONS.
- COORDINATE EXACT LOCATION OF FLOOR MOUNTED ELECTRICAL RECEPTACLE WITH CONTRACTOR PRIOR TO INSTALLATION.
- CEILING MOUNTED ELECTRIC GARAGE DOOR OPENER AT THIS LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR GAS RANGE AND HOOD AT THIS LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR MICROWAVE OVEN AT THIS LOCATION.
- BATHROOM EXHAUST FAN. PROVIDE A MINIMUM OF 50 CFM VENT FAN DIRECTLY TO THE EXTERIOR. PROVIDE FAN / LIGHT COMBO.

CEILING TYPES

- C1: 5/8" PAINTED GYP BOARD OVER FLOOR / ROOF FRAMING ABOVE. PROVIDE MOISTURE RESISTANT PURPLE / GREEN GYP BOARD AT WET LOCATIONS.
 - C2: OPEN TO STRUCTURE ABOVE. NO CEILING TREATMENT REQUIRED AT THIS LOCATION.
 - C3: ALUMINUM VENTED SOFFIT AT THIS LOCATION.
 - C4: EXPOSED STEEL BEAM AT THIS LOCATION.
- MTPL MULTIPLE FINISHES OR CEILING HEIGHTS. SEE INDIVIDUAL NOTES FOR CLARIFICATION.

LIGHT FIXTURE SCHEDULE

- ** NOTE **** ALL LIGHT FIXTURES ARE TO BE PROVIDED BY / PURCHASED BY THE GENERAL CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- LT1 RECESSED CAN LIGHT. CAN LIGHT IS TO BE I.C. RATED. PROVIDE WET LOCATION TRIM KITS AT WET / OUTDOOR LOCATIONS. AT SLOPED CEILING LOCATIONS, PROVIDE SLOPED CAN LIGHT TRIM KITS.
 - LT2 CEILING MOUNTED FAN. INTEGRAL LIGHT FIXTURE KIT ON FAN.
 - LT3 DECORATIVE FLUSH / SEMI FLUSH MOUNTED CEILING FIXTURE AT THIS LOCATION. FIXTURES SHOWN MEET THE REQUIRED 12" MINIMUM DIMENSION REQUIRED TO THE NEAREST POINT OF STORAGE AREAS.
 - LT4 DECORATIVE WALL SCONCE. COORDINATE MOUNTING HEIGHT AND EXACT HORIZONTAL POSITION WITH OWNER PRIOR TO ROUGH IN.
 - LT5 EXTERIOR DECORATIVE WALL SCONCE. COORDINATE MOUNTING HEIGHT WITH OWNER PRIOR TO ROUGH IN.
 - LT6 PORCELAIN BASE KEYLESS FIXTURE
 - LT7 CEILING HUNG DECORATIVE PENDANT / CHANDELIER. PROVIDE SOLID BLOCKING FOR NEW FIXTURE AS NEEDED.

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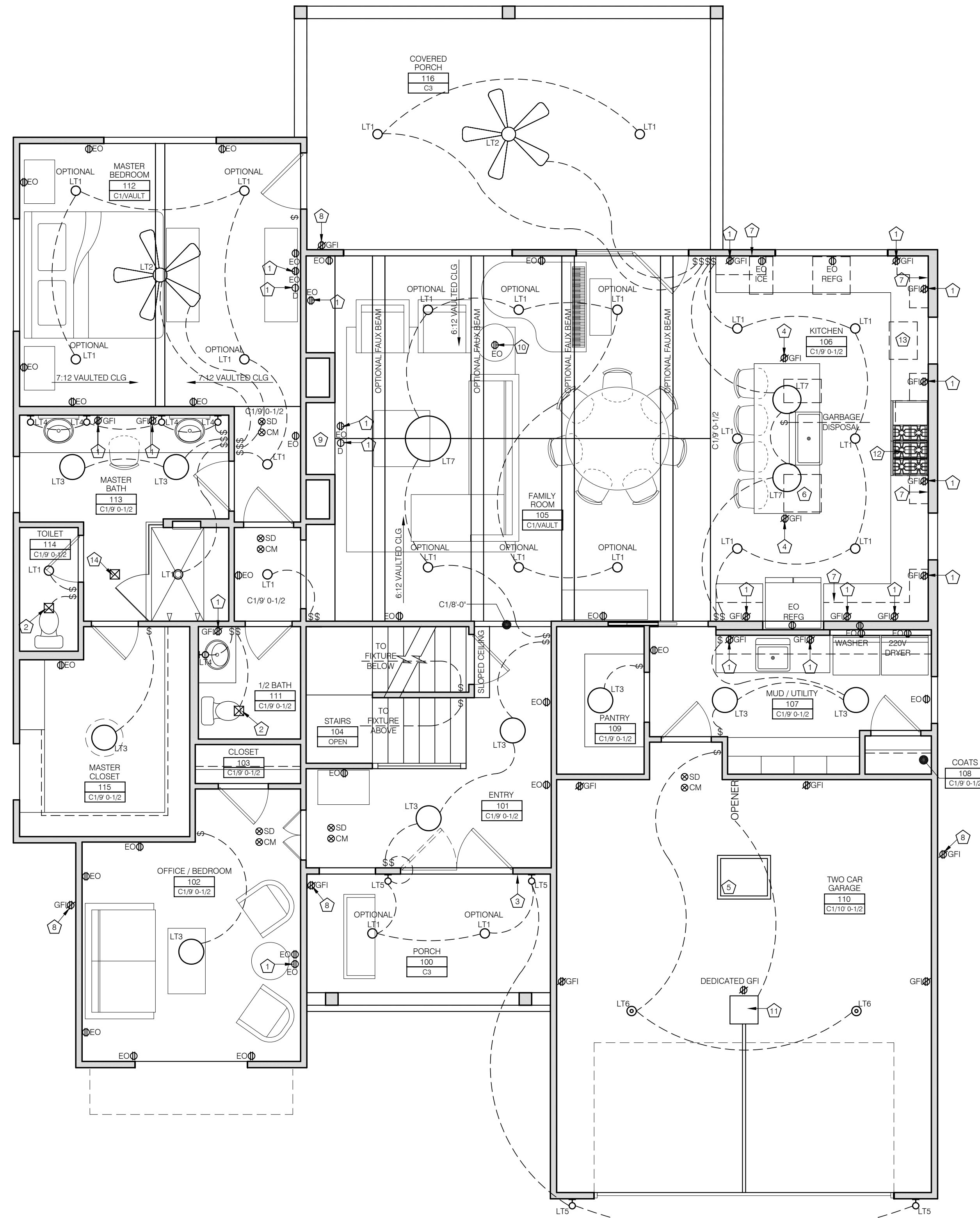
CONTACT: JEFF BRINKMAN

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Drawn: JSD Date: 06/30/26

A2.0
BASEMENT REFLECTED CEILING & SWITCHING PLAN



CEILING PLAN LEGEND & NOTES

- | | |
|-----------|---|
| ROOM NAME | ROOM NAME |
| 100 | ROOM NUMBER |
| C1/8'-0" | CEILING TYPE / HEIGHT |
| ○ | RECESSED CAN LIGHT FIXTURE |
| ○ | PENDANT OR FLUSH MOUNTED LIGHT FIXTURE |
| ○ | DECORATIVE WALL SCONCE |
| ○ | PORCELAIN KEYLESS FIXTURE |
| ⊠ | CEILING MOUNTED EXHAUST FAN |
| ⊠ | CEILING MOUNTED SMOKE DETECTOR & CARBON MONOXIDE DETECTOR. ALL DETECTORS ARE TO BE AC POWERED, U.L. LISTED WITH BATTERY BACKUP AND SHALL BE PLACED THROUGHOUT THE DWELLING UNIT AS SHOWN ON THE RCP AND SWITCHING PLANS. ALL DETECTORS WITHIN THE DWELLING SHALL BE INTERCONNECTED AND HARD WIRED SO THAT THE ACTIVATION OF ANY ALARM WILL SOUND ALL ALARMS THROUGHOUT THE HOUSE. |
- THE KEYED NOTES LISTED ON THIS SHEET APPLY TO THIS SHEET ONLY.
 - ALL DIMENSIONS SHOWN ON THIS PLAN ARE FROM FACE OF ROUGH FRAMING TO FACE OF ROUGH FRAMING.

SWITCHING PLAN LEGEND

- | | |
|-----|--|
| S | WALL SWITCH |
| EO | ELECTRICAL RECEPTACLE (NON GFI) |
| GFI | GFI ELECTRICAL RECEPTACLE |
| EO | PROVIDE ARC FAULT CIRCUIT INTERRUPTER (AFCI) AT ALL BEDROOM LOCATIONS. |
| GFI | PROVIDE WEATHER PROTECTED ENCLOSURE AT ALL EXTERIOR LOCATIONS. |
| EO | WALL DATA RECEPTACLE |

GENERAL CEILING NOTES

- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING WITH CONSTRUCTION.

GENERAL ELECTRICAL NOTES

- INTER SYSTEM BONDING TERMINAL SHALL BE PROVIDED FOR GROUNDING COMMUNICATION SYSTEMS (CABLE TV & SATELLITE DISHES).
- IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5'-0" OF THE POINT OF ENTRANCE TO THE BUILDING. A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53.

KEYNOTES

- EXACT HEIGHT OF OUTLET TO BE COORDINATED WITH THE OWNER. SEE THE FLOOR PLAN FOR FURTHER CLARIFICATION.
- BATHROOM EXHAUST FAN. PROVIDE A MINIMUM OF 50 CFM VENT FAN DIRECTLY TO THE EXTERIOR. NO LIGHT ON FAN.
- PROVIDE DOOR BELL AT THIS LOCATION.
- ELECTRICAL OUTLET AT THIS LOCATION IS TO BE PLACED ON THE SIDE OF THE KITCHEN ISLAND. SEE FLOOR PLAN. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION.
- 24"X36" ATTIC ACCESS SCUTTLE PANEL.
- ELECTRICAL SERVICE TO HARDWIRE A U.C. DISHWASHER AT THIS LOCATION. SEE FLOOR PLAN.
- ELECTRICAL SERVICE FOR UNDER CABINET LIGHTING AT THIS LOCATION. COORDINATE ALL FINAL LOCATIONS & SWITCHING WITH CONTRACTOR. ALL UNDER COUNTER LIGHTING SHALL BE SWITCHED TOGETHER.
- PROVIDE A WATER PROOF BOX FOR WET / OUTDOOR GFI LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR GAS FIREPLACE STRIKER. COORDINATE ON SITE WITH EXACT GAS FIREPLACE MODEL / INSTALL INSTRUCTIONS.
- COORDINATE EXACT LOCATION OF FLOOR MOUNTED ELECTRICAL RECEPTACLE WITH CONTRACTOR PRIOR TO INSTALLATION.
- CEILING MOUNTED ELECTRIC GARAGE DOOR OPENER AT THIS LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR GAS RANGE AND HOOD AT THIS LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR MICROWAVE OVEN AT THIS LOCATION.
- BATHROOM EXHAUST FAN. PROVIDE A MINIMUM OF 50 CFM VENT FAN DIRECTLY TO THE EXTERIOR. PROVIDE FAN / LIGHT COMBO.

CEILING TYPES

- C1: 5/8" PAINTED GYP BOARD OVER FLOOR / ROOF FRAMING ABOVE. PROVIDE MOISTURE RESISTANT PURPLE / GREEN GYP BOARD AT WET LOCATIONS.
- C2: OPEN TO STRUCTURE ABOVE. NO CEILING TREATMENT REQUIRED AT THIS LOCATION.
- C3: ALUMINUM VENTED SOFFIT AT THIS LOCATION.
- C4: EXPOSED STEEL BEAM AT THIS LOCATION.
- MTPL: MULTIPLE FINISHES OR CEILING HEIGHTS. SEE INDIVIDUAL NOTES FOR CLARIFICATION.

LIGHT FIXTURE SCHEDULE

- ** NOTE **** ALL LIGHT FIXTURES ARE TO BE PROVIDED BY / PURCHASED BY THE GENERAL CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- LT1: RECESSED CAN LIGHT. CAN LIGHT IS TO BE I.C. RATED. PROVIDE WET LOCATION TRIM KITS AT WET / OUTDOOR LOCATIONS. AT SLOPED CEILING LOCATIONS, PROVIDE SLOPED CAN LIGHT TRIM KITS.
- LT2: CEILING MOUNTED FAN. INTEGRAL LIGHT FIXTURE KIT ON FAN.
- LT3: DECORATIVE FLUSH / SEMI FLUSH MOUNTED CEILING FIXTURE AT THIS LOCATION. FIXTURES SHOWN MEET THE REQUIRED 12" MINIMUM DIMENSION REQUIRED TO THE NEAREST POINT OF STORAGE AREAS.
- LT4: DECORATIVE WALL SCONCE. COORDINATE MOUNTING HEIGHT AND EXACT HORIZONTAL POSITION WITH OWNER PRIOR TO ROUGH IN.
- LT5: EXTERIOR DECORATIVE WALL SCONCE. COORDINATE MOUNTING HEIGHT WITH OWNER PRIOR TO ROUGH IN.
- LT6: PORCELAIN BASE KEYLESS FIXTURE
- LT7: CEILING HUNG DECORATIVE PENDANT / CHANDELIER. PROVIDE SOLID BLOCKING FOR NEW FIXTURE AS NEEDED.

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MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009030445

PROJECT:
 NEW CUSTOM RESIDENCE
 FOR:
 1175 HILLARD ROAD
 GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR:

BENCHMARK HOMES
 BENCHMARK HOMES
 13281 SPINDLE LANE
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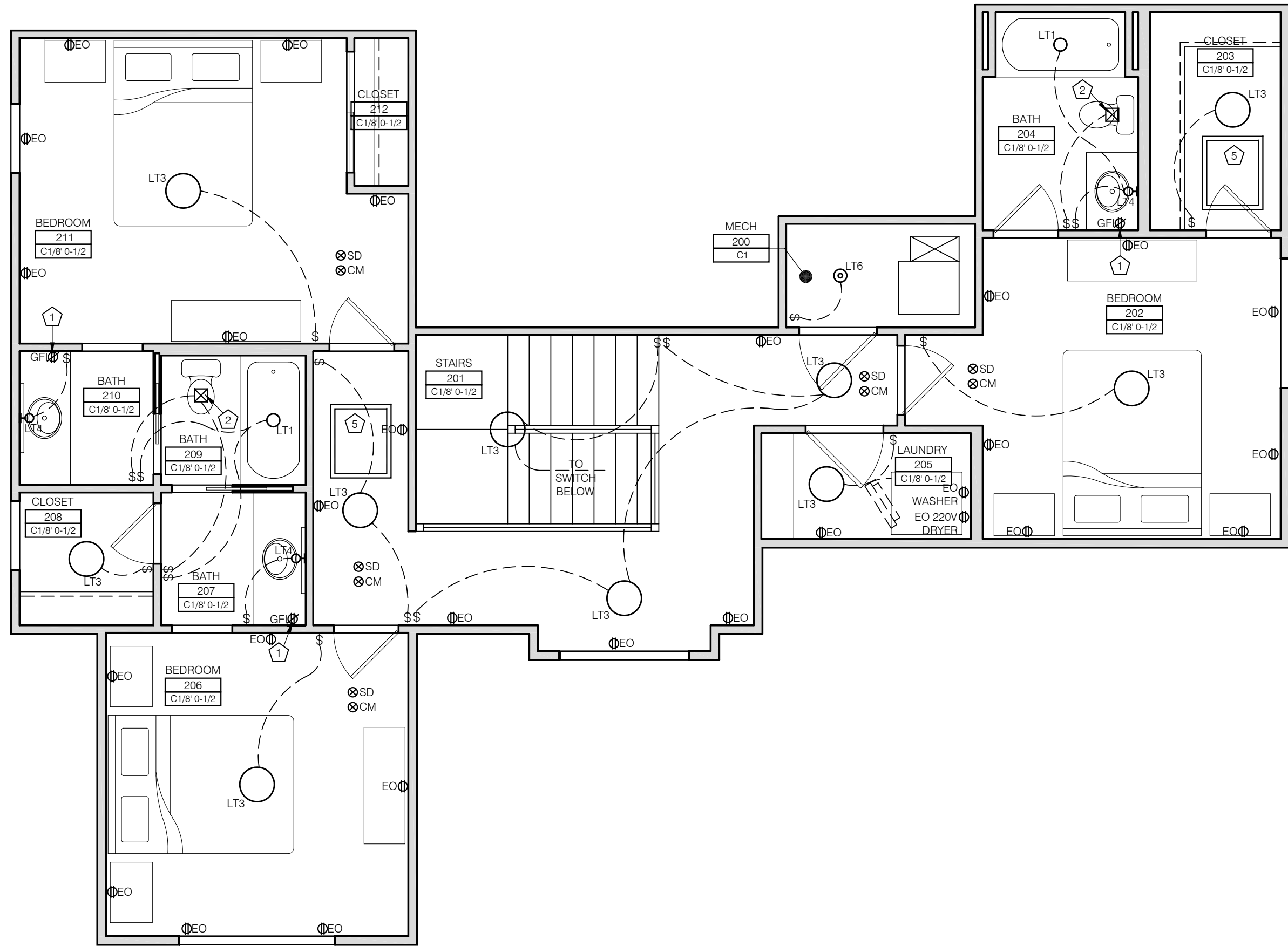
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Drawn: JSD Date: 06/30/26

A2.1
 FIRST FLOOR REFLECTED CEILING & SWITCHING PLAN



CEILING PLAN LEGEND & NOTES

- | ROOM NAME | ROOM NUMBER | CEILING TYPE / HEIGHT |
|-----------|-------------|-----------------------|
| 100 | | |
| C1/8' 0" | | |
- RECESSED CAN LIGHT FIXTURE
 - PENDANT OR FLUSH MOUNTED LIGHT FIXTURE
 - DECORATIVE WALL SCONCE
 - PORCELAIN KEYLESS FIXTURE
 - ⊗ CEILING MOUNTED EXHAUST FAN
 - ⊗ SD CEILING MOUNTED SMOKE DETECTOR & CARBON MONOXIDE DETECTOR. ALL DETECTORS ARE TO BE AC POWERED, U.L. LISTED WITH BATTERY BACKUP AND SHALL BE PLACED THROUGHOUT THE DWELLING UNIT AS SHOWN ON THE RCP AND SWITCHING PLANS. ALL DETECTORS WITHIN THE DWELLING SHALL BE INTERCONNECTED AND HARD WIRED SO THAT THE ACTIVATION OF ANY ALARM WILL SOUND ALL ALARMS THROUGHOUT THE HOUSE.

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SWITCHING PLAN LEGEND

- S WALL SWITCH
- EO ⊗ ELECTRICAL RECEPTACLE (NON GFI)
- GFI ⊗ GFI ELECTRICAL RECEPTACLE
- D ⊗ WALL DATA RECEPTACLE

GENERAL CEILING NOTES

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- BATHROOM EXHAUST FAN. PROVIDE A MINIMUM OF 50 CFM VENT FAN DIRECTLY TO THE EXTERIOR. NO LIGHT ON FAN.
- PROVIDE DOOR BELL AT THIS LOCATION.
- ELECTRICAL OUTLET AT THIS LOCATION IS TO BE PLACED ON THE SIDE OF THE KITCHEN ISLAND. SEE FLOOR PLAN. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION.
- 24"X36" ATTIC ACCESS SCUTTLE PANEL.
- ELECTRICIAN TO HARDWIRE A U.C. DISHWASHER AT THIS LOCATION. SEE FLOOR PLAN.
- ELECTRICAL SERVICE FOR UNDER CABINET LIGHTING AT THIS LOCATION. COORDINATE ALL FINAL LOCATIONS & SWITCHING WITH CONTRACTOR. ALL UNDER COUNTER LIGHTING SHALL BE SWITCHED TOGETHER.
- PROVIDE A WATER PROOF BOX FOR WET / OUTDOOR GFI LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR GAS FIREPLACE STRIKER. COORDINATE ON SITE WITH EXACT GAS FIREPLACE MODEL / INSTALL INSTRUCTIONS.
- COORDINATE EXACT LOCATION OF FLOOR MOUNTED ELECTRICAL RECEPTACLE WITH CONTRACTOR PRIOR TO INSTALLATION.
- CEILING MOUNTED ELECTRIC GARAGE DOOR OPENER AT THIS LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR GAS RANGE AND HOOD AT THIS LOCATION.
- PROVIDE ELECTRICAL SERVICE FOR MICROWAVE OVEN AT THIS LOCATION.
- BATHROOM EXHAUST FAN. PROVIDE A MINIMUM OF 50 CFM VENT FAN DIRECTLY TO THE EXTERIOR. PROVIDE FAN / LIGHT COMBO.

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 - C4: EXPOSED STEEL BEAM AT THIS LOCATION.
- MTPL MULTIPLE FINISHES OR CEILING HEIGHTS. SEE INDIVIDUAL NOTES FOR CLARIFICATION.

LIGHT FIXTURE SCHEDULE

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 - LT2 CEILING MOUNTED FAN. INTEGRAL LIGHT FIXTURE KIT ON FAN.
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 - LT4 DECORATIVE WALL SCONCE. COORDINATE MOUNTING HEIGHT AND EXACT HORIZONTAL POSITION WITH OWNER PRIOR TO ROUGH IN.
 - LT5 EXTERIOR DECORATIVE WALL SCONCE. COORDINATE MOUNTING HEIGHT WITH OWNER PRIOR TO ROUGH IN.
 - LT6 PORCELAIN BASE KEYLESS FIXTURE
 - LT7 CEILING HUNG DECORATIVE PENDANT / CHANDELIER. PROVIDE SOLID BLOCKING FOR NEW FIXTURE AS NEEDED.

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CONTACT: JOHN S. ODOM

MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009030445

PROJECT:
NEW CUSTOM RESIDENCE
FOR:
1175 HILLARD ROAD
GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR:

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Drawn: JSD Date: 06/30/26

A2.2
SECOND FLOOR REFLECTED CEILING & SWITCHING PLAN

EXTERIOR ELEVATION NOTES

- 1 UP BOARD AND BATTEN SIDING AT THIS LOCATION.
- 2 THIN CUT BRICK VENEER AT THIS LOCATION. BRICK COLOR BY OWNER. THIN BRICK MUST BE INSTALLED PER MANUFACTURERS INSTALL INSTRUCTIONS. INSTALL TWO LAYERS OF WATER RESISTIVE BARRIER (WRB) PER MANUFACTURERS INSTALL INSTRUCTIONS.
- 3 8" SQUARE PERMACAST COLUMN W/ CAP & BASE AT THIS LOCATION. COLOR BY OWNER
- 4 6" PRE-FINISHED ALUMINUM GUTTERS AT THIS LOCATION. COLOR BY OWNER. SEE ROOF PLAN FOR ALL ALL GUTTER LOCATIONS.
- 5 PRE-FINISHED ALUMINUM DOWN SPOUTS AT THIS LOCATION. SEE CIVIL SITE PLAN FOR DRAINAGE REQUIREMENTS.
- 6 25 YEAR ARCHITECTURAL SHINGLES (COLOR SELECTION BY OWNER). PLACED OVER ONE LAYER OF FELT PAPER. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2". FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6" INSTALL AN ICE AND WATER SHIELD AT UNDERSIDE OF SHINGLES.
- 7 DECORATIVE WALL SCOUNCE AT THIS LOCATION. SEE SWITCHING PLAN.
- 8 STANDING SEAM METAL ROOF AT THIS LOCATION. COLOR BY OWNER.
- 9 GABEL VENT AT THIS LOCATION
- 10 ALUMINUM WRAPPED FACIA BOARDS, TYP. COLOR BY OWNER.
- 11 1X6 TRIM BOARD AT THIS LOCATION.
- 12 1X10 TRIM BOARD AT THIS LOCATION.

ARCHITECT:



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MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009027291

PROJECT:
 NEW CUSTOM RESIDENCE
 FOR:
 1175 HILLARD ROAD
 GLENDALE, MISSOURI 63122

GENERAL CONTRACTOR



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 E-MAIL: JEFF@BENCHMARKSTL.COM

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OVERALL HEIGHT 126'-11"

ROOF TRUSS SET HEIGHT 118'-2 7/8"

TOP OF SECOND FLOOR SUBFLOOR 110'-1 3/4"

TOP OF FIRST FLOOR SUBFLOOR 100'-0"

TOP OF FINISHED SLAB 90'-1 7/8"



RIGHT EXTERIOR ELEVATION 2
 SCALE 1/4" = 1'-0" A3.0

OVERALL HEIGHT 126'-11"

ROOF TRUSS SET HEIGHT 118'-2 7/8"

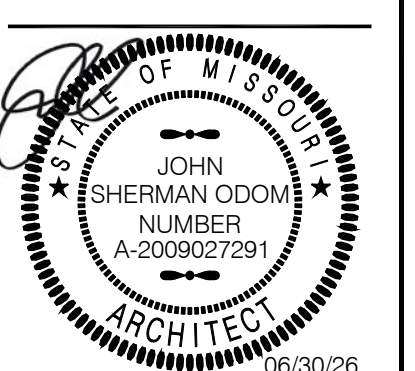
TOP OF SECOND FLOOR SUBFLOOR 110'-1 3/4"

TOP OF FIRST FLOOR SUBFLOOR 100'-0"

TOP OF FINISHED SLAB 90'-1 7/8"



FRONT EXTERIOR ELEVATION 1
 SCALE 1/4" = 1'-0" A3.0



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Drawn: JSD Date: 06/30/26

A3.0
 EXTERIOR ELEVATIONS

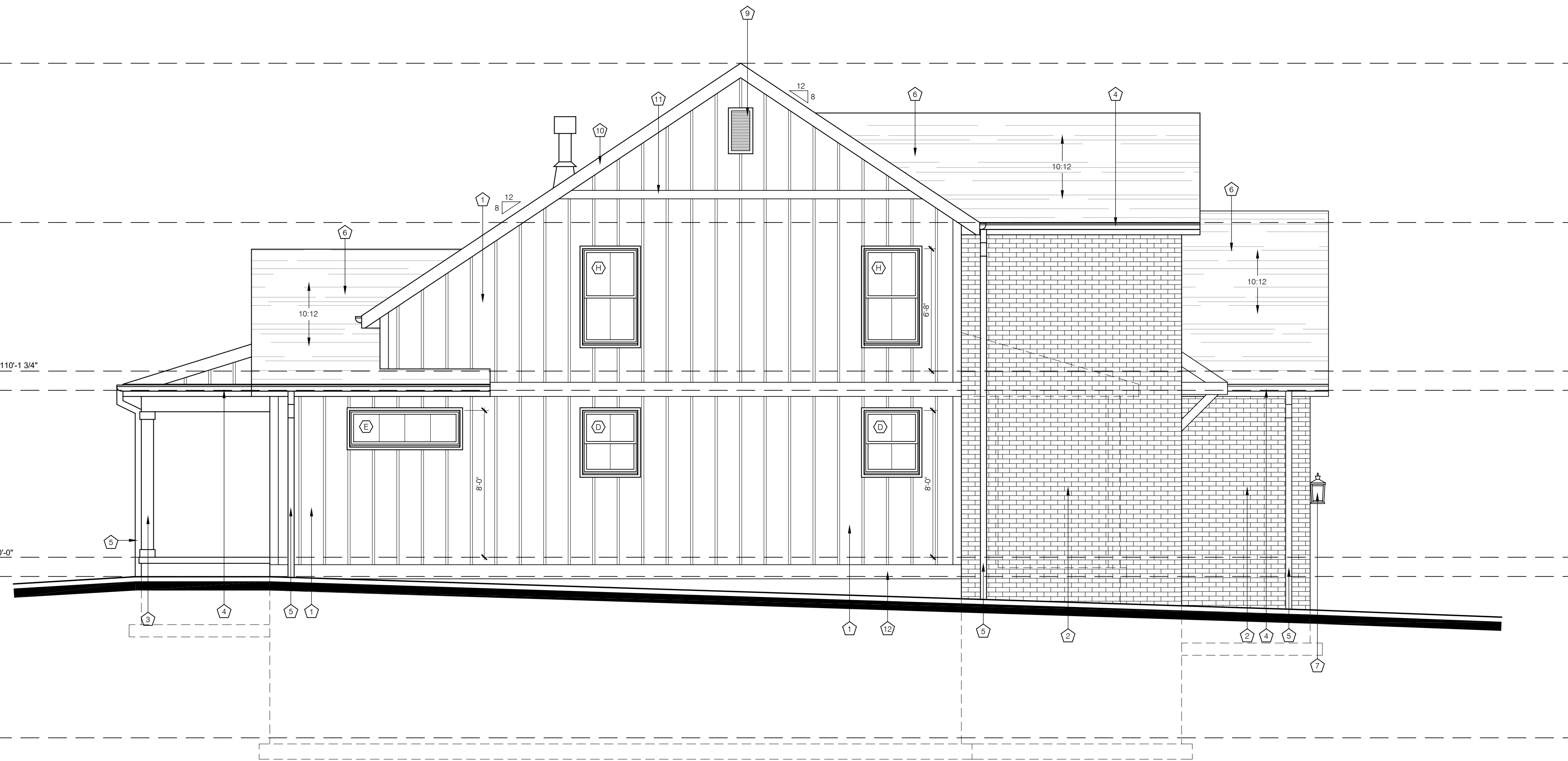
OVERALL HEIGHT 126'-11"

ROOF TRUSS SET HEIGHT 118'-2 7/8"

TOP OF SECOND FLOOR SUBFLOOR 110'-1 3/4"

TOP OF FIRST FLOOR SUBFLOOR 100'-0"

TOP OF FINISHED SLAB 90'-1 7/8"



LEFT EXTERIOR ELEVATION 2
SCALE 1/4" = 1'-0" A3.1

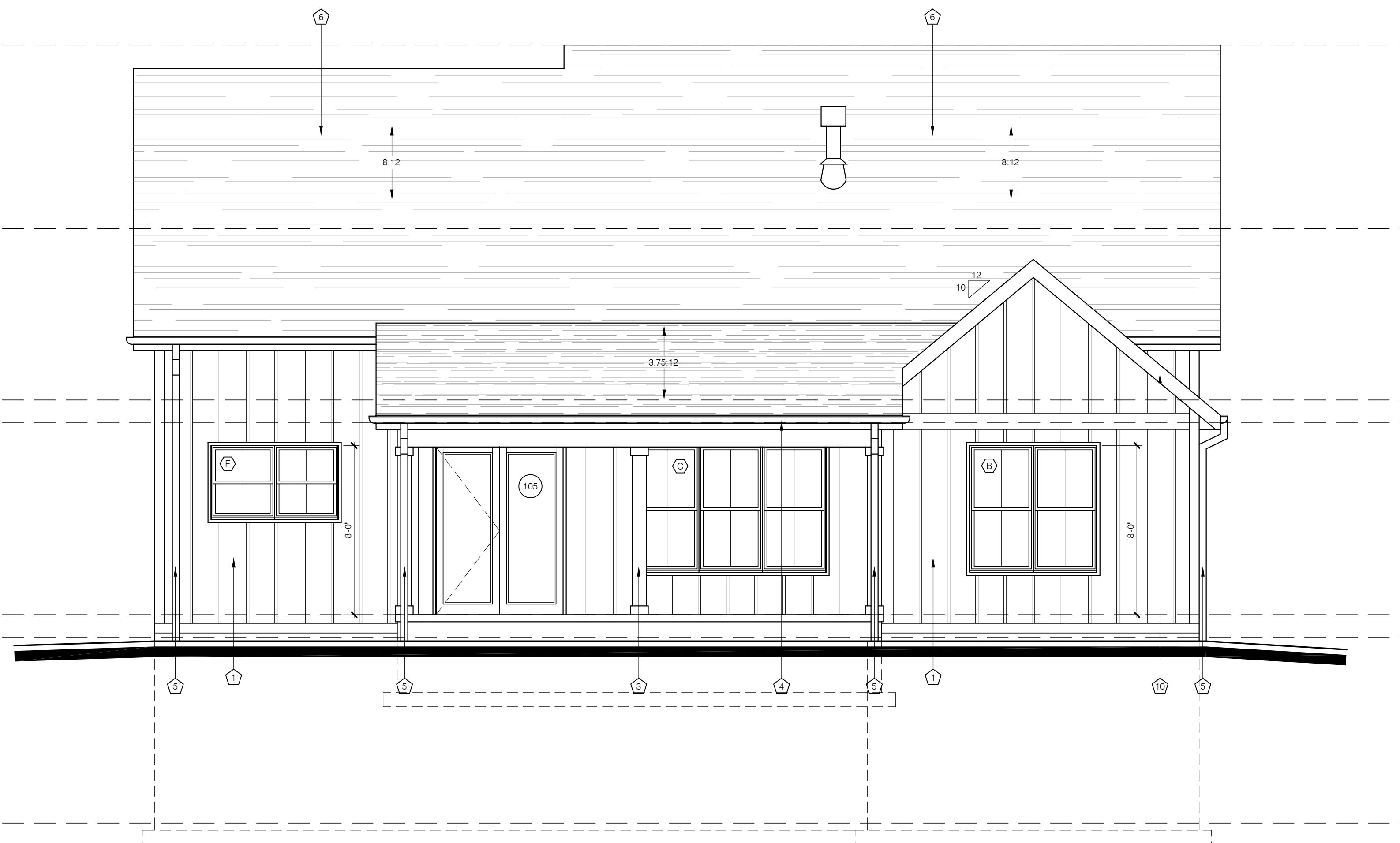
OVERALL HEIGHT 126'-11"

ROOF TRUSS SET HEIGHT 118'-2 7/8"

TOP OF SECOND FLOOR SUBFLOOR 110'-1 3/4"

TOP OF FIRST FLOOR SUBFLOOR 100'-0"

TOP OF FINISHED SLAB 90'-1 7/8"



REAR EXTERIOR ELEVATION 1
SCALE 1/4" = 1'-0" A3.1

EXTERIOR ELEVATION NOTES

- 1 UP BOARD AND BATTEN SIDING AT THIS LOCATION.
- 2 THIN CUT BRICK VENEER AT THIS LOCATION. BRICK COLOR BY OWNER. THIN BRICK MUST BE INSTALLED PER MANUFACTURER'S INSTALL INSTRUCTIONS. INSTALL TWO LAYERS OF WATER RESISTIVE BARRIER (WRB) PER MANUFACTURER'S INSTALL INSTRUCTIONS.
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- 11 1X6 TRIM BOARD AT THIS LOCATION.
- 12 1X10 TRIM BOARD AT THIS LOCATION.

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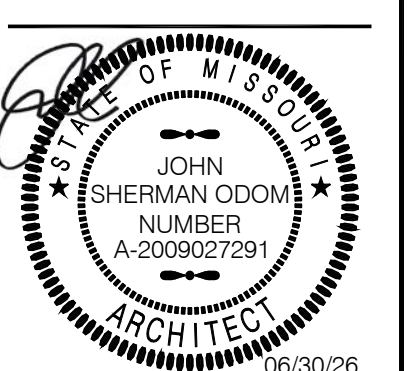
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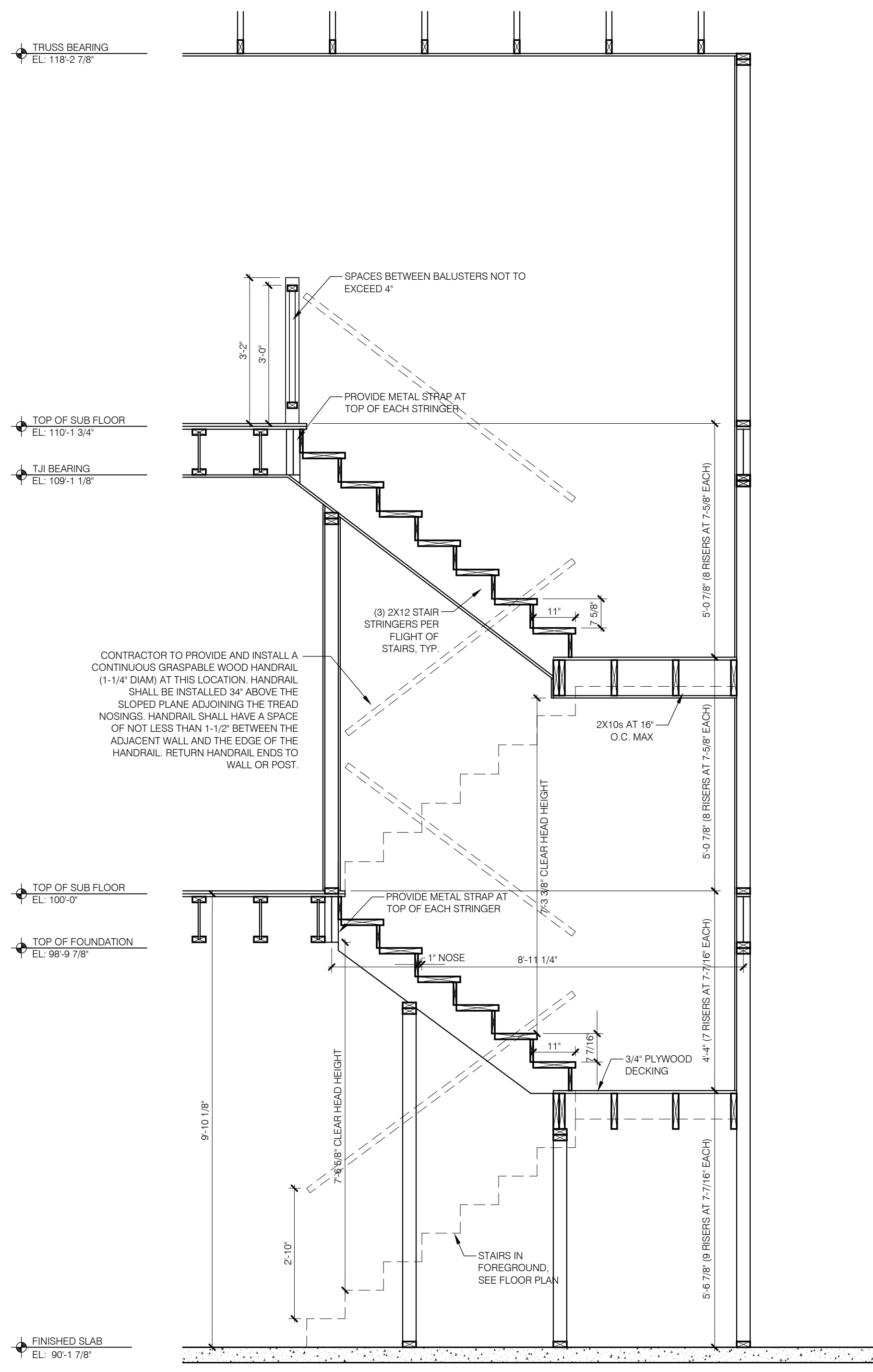


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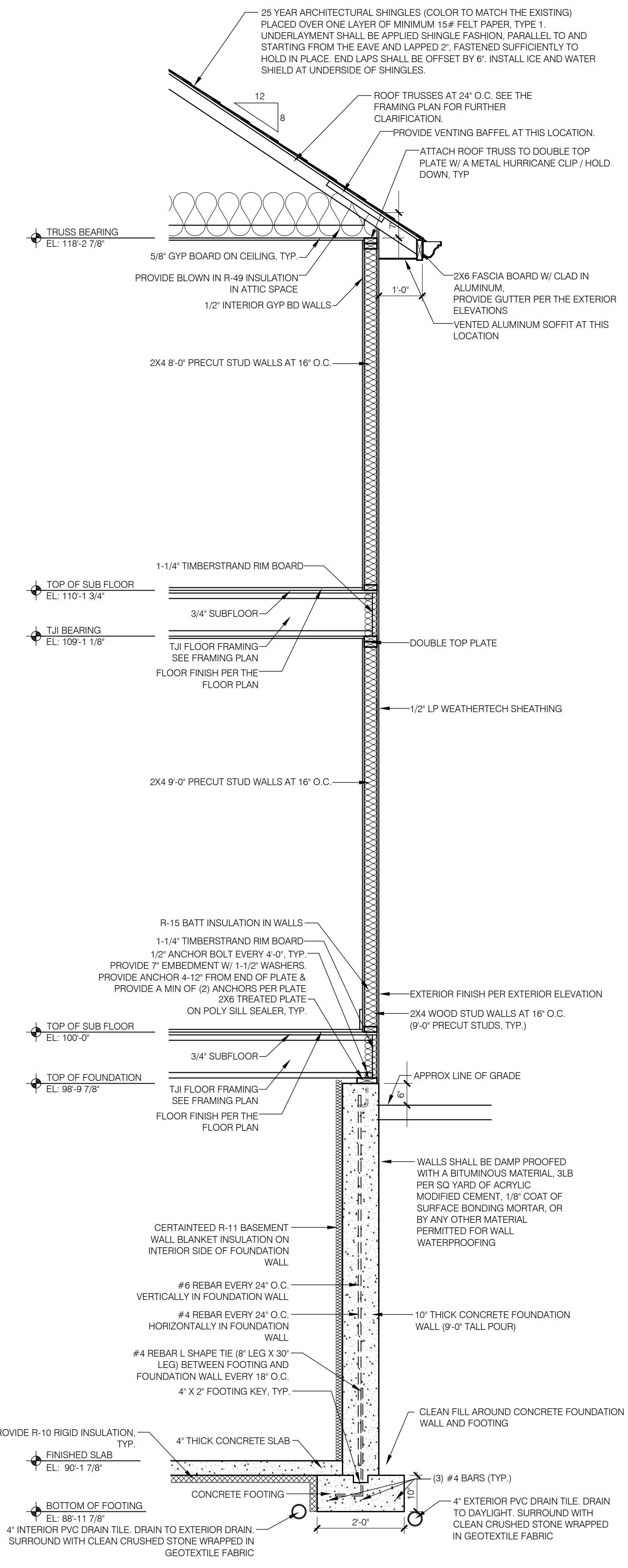
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Drawn: JSO Date: 06/30/26

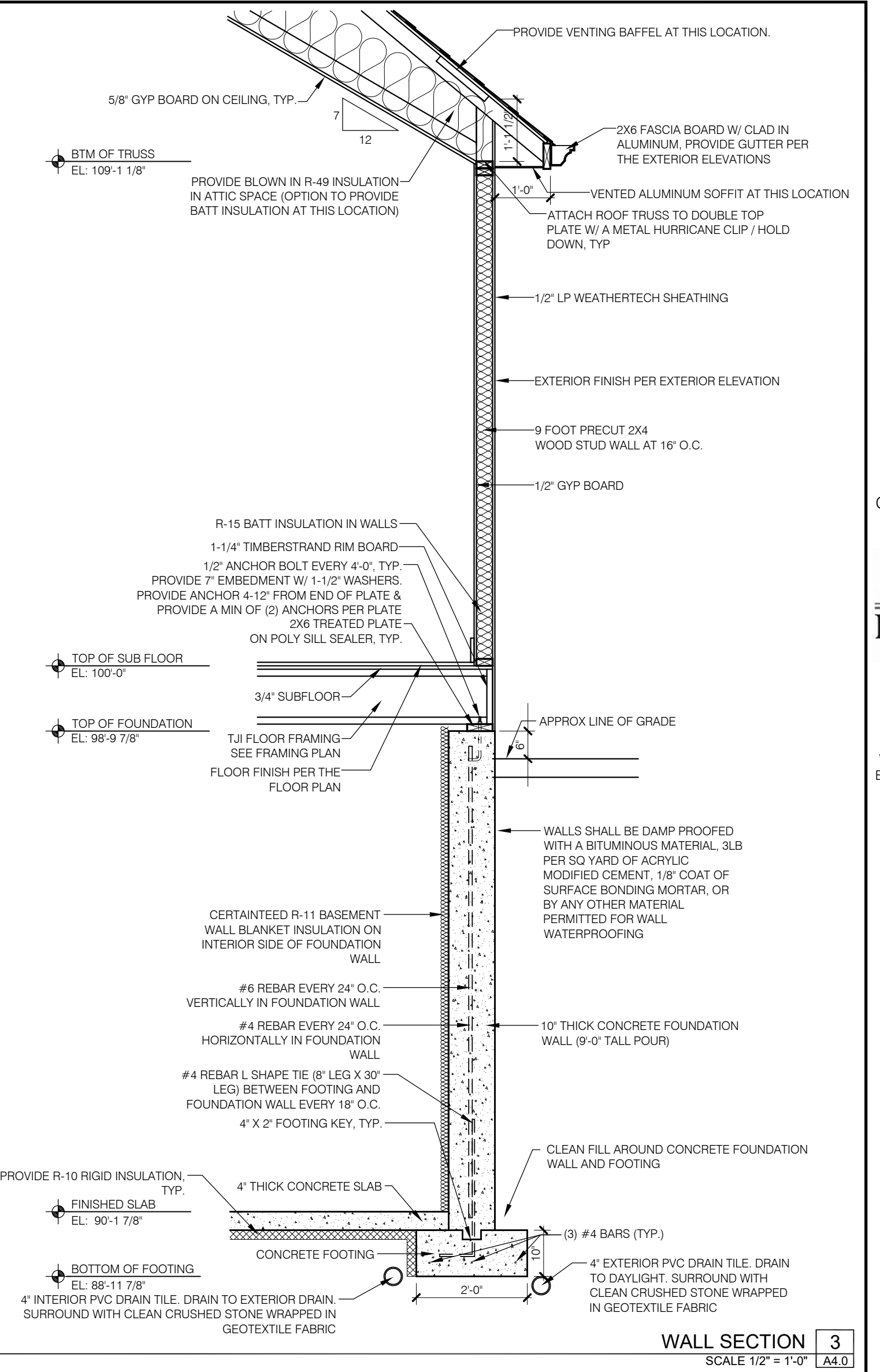
A3.1
EXTERIOR ELEVATIONS



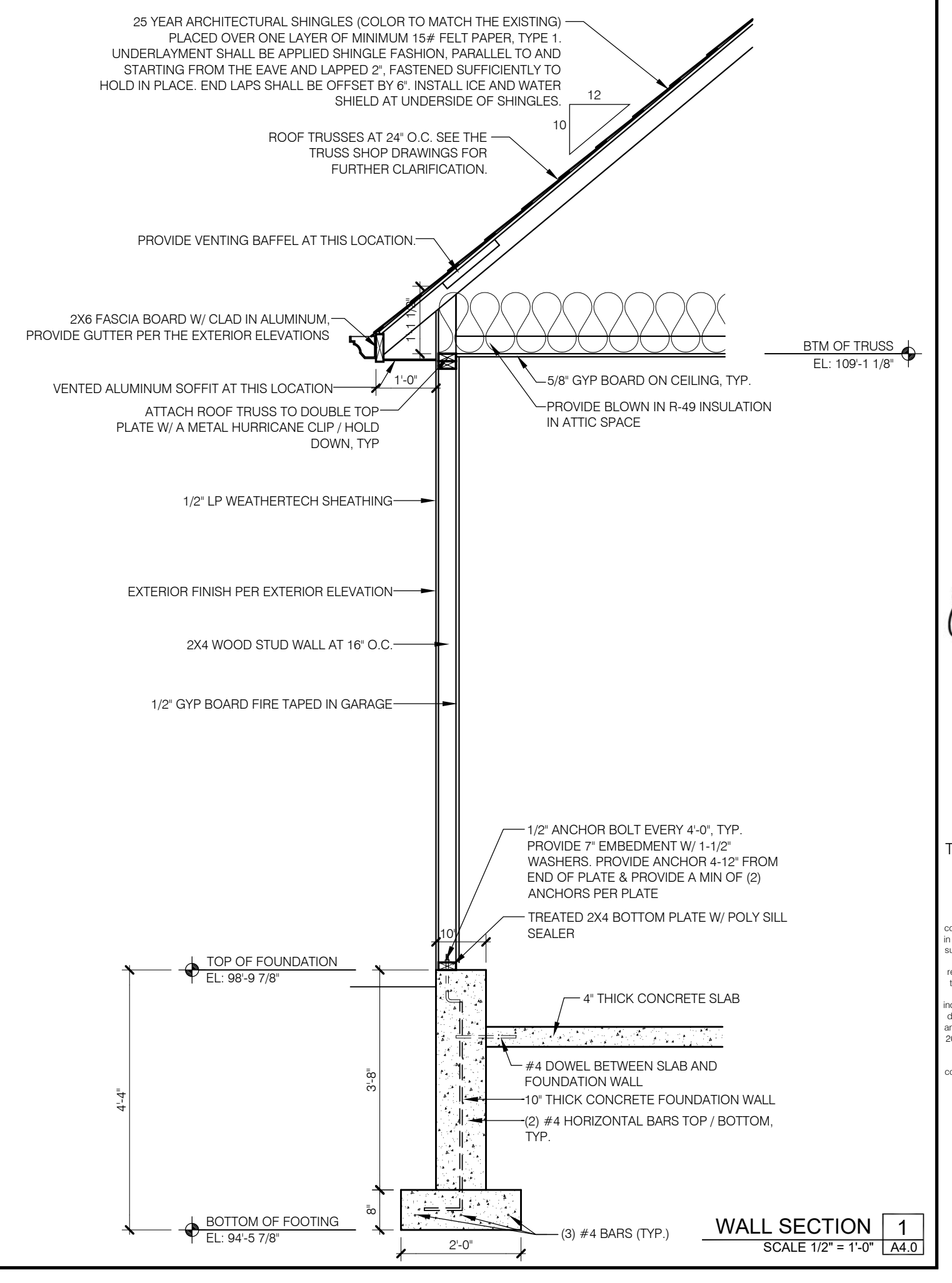
STAIR SECTION 4
SCALE 1/2" = 1'-0" A4.0



WALL SECTION 2
SCALE 1/2" = 1'-0" A4.0

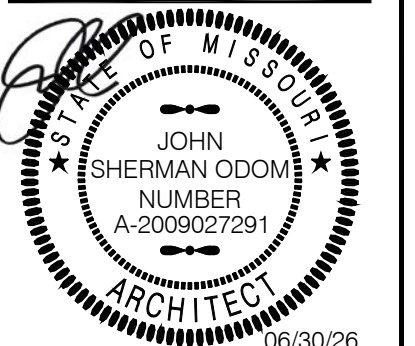


WALL SECTION 3
SCALE 1/2" = 1'-0" A4.0



WALL SECTION 1
SCALE 1/2" = 1'-0" A4.0

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NEW CUSTOM RESIDENCE
FOR:
1175 HILLARD ROAD
GLENDALE, MISSOURI 63122
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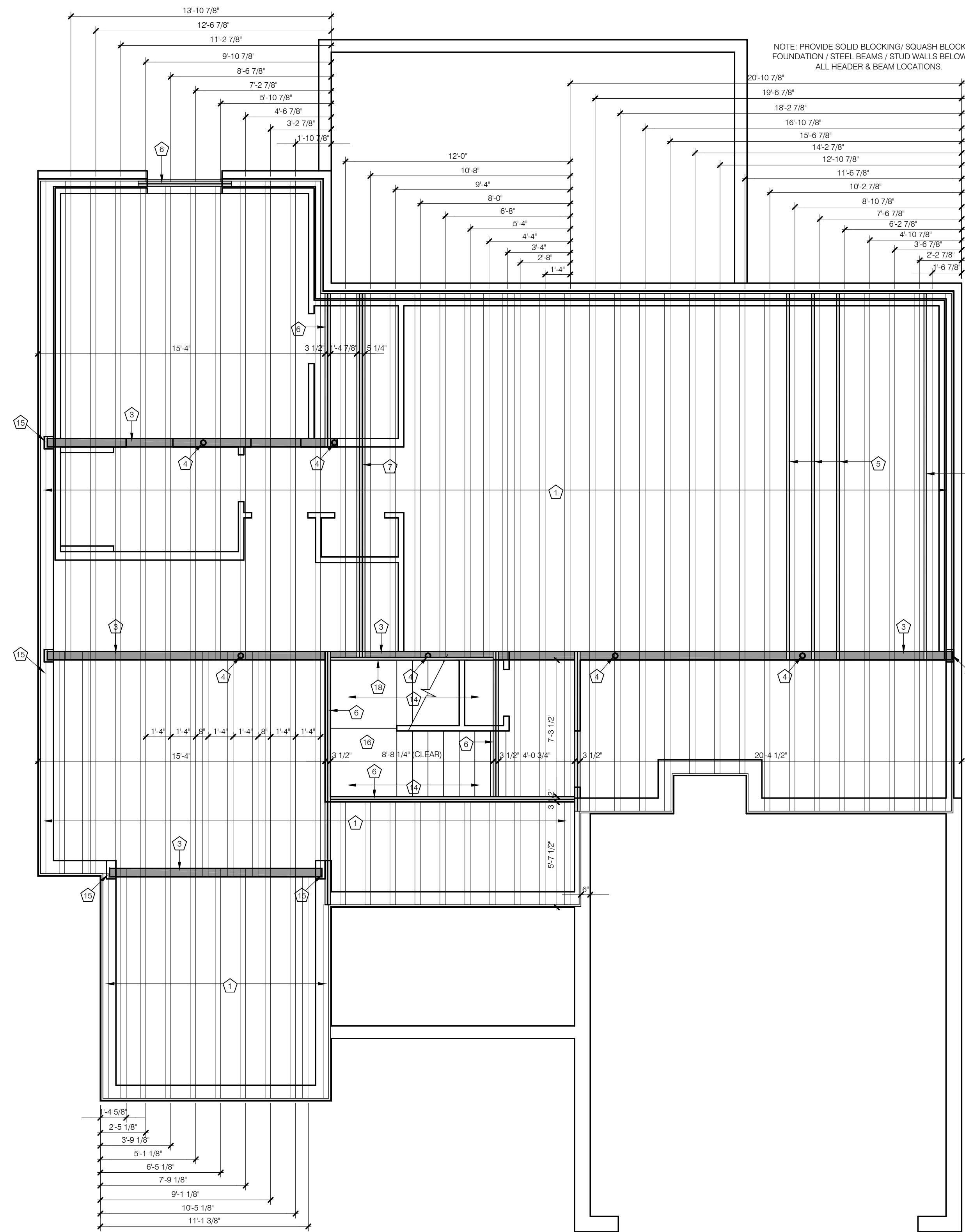


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A4.0
SECTIONS



GENERAL FRAMING NOTES

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FRAMING PLAN KEYNOTES

- 1) 11-7/8" TRUSS JOIST TJI 560s AT 16" O.C. REFER TO SHEET A6.1 FOR TJI DETAILS / CONNECTION TYPES.
- 2) 11-7/8" TRUSS JOIST TJI 360s AT 16" O.C. REFER TO SHEET A6.1 FOR TJI DETAILS / CONNECTION TYPES.
- 3) W10X26 STEEL BEAM AT THIS LOCATION. INSTALL A SINGLE 2X WOOD PLATE TO THE TOP SIDE OF THE STEEL BEAM FOR TJI NAILING, TYP.
- 4) 2" SCHEDULE 40 PIPE COLUMN W/ 3/4" X 3/8" X 12" DEEP FOOTING BELOW. CONCRETE FOOTING W/ (4) #5 BARS EACH WAY, 3" FROM BTM OF PAD.
- 5) (1) 1-3/4" x 11-7/8" MICROLAM UPSET BEAM AT THIS LOCATION. SISTER TO THE SIDE OF THE TJI AT THIS LOCATION.
- 6) (2) 1-3/4" x 11-7/8" MICROLAM UPSET BEAM AT THIS LOCATION.
- 7) (3) 1-3/4" x 11-7/8" MICROLAM UPSET BEAM AT THIS LOCATION.
- 8) (2) 1-3/4" x 11-7/8" MICROLAM HEADER AT THIS LOCATION.
- 9) 2x10 BOX BEAM HEADER
- 10) 2x12 BOX BEAM HEADER
- 11) 2x8 BOX BEAM HEADER
- 12) (2) 1-3/4" x 14" MICROLAM HEADER AT THIS LOCATION
- 13) (2) 1-3/4" x 18" MICROLAM UPSET BEAM AT THIS LOCATION.
- 14) THREE (3) 2X12 STAIR STRINGERS AT THIS LOCATION.
- 15) CONCRETE BEAM POCKET AT THIS LOCATION. COORDINATE BEAM POCKET SIZE PRIOR TO PLACING CONCRETE. MIN 3" STEEL BEARING IN POCKET.
- 16) PROVIDE 2X10 AT 16" O.C. FRAMING FOR STAIR LANDINGS.
- 17) (2) 2X12 BEAM AT THIS LOCATION.
- 18) SINGLE 1-1/8" X 11-7/8" TIMBERSTAND RIM BOARD AT THIS LOCATION
- 19) ENGINEERED ROOF TRUSSES AT THIS LOCATION. SEE TRUSS SHOP DRAWINGS FOR FURTHER CLARIFICATION.

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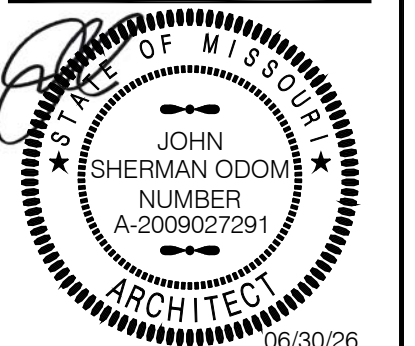
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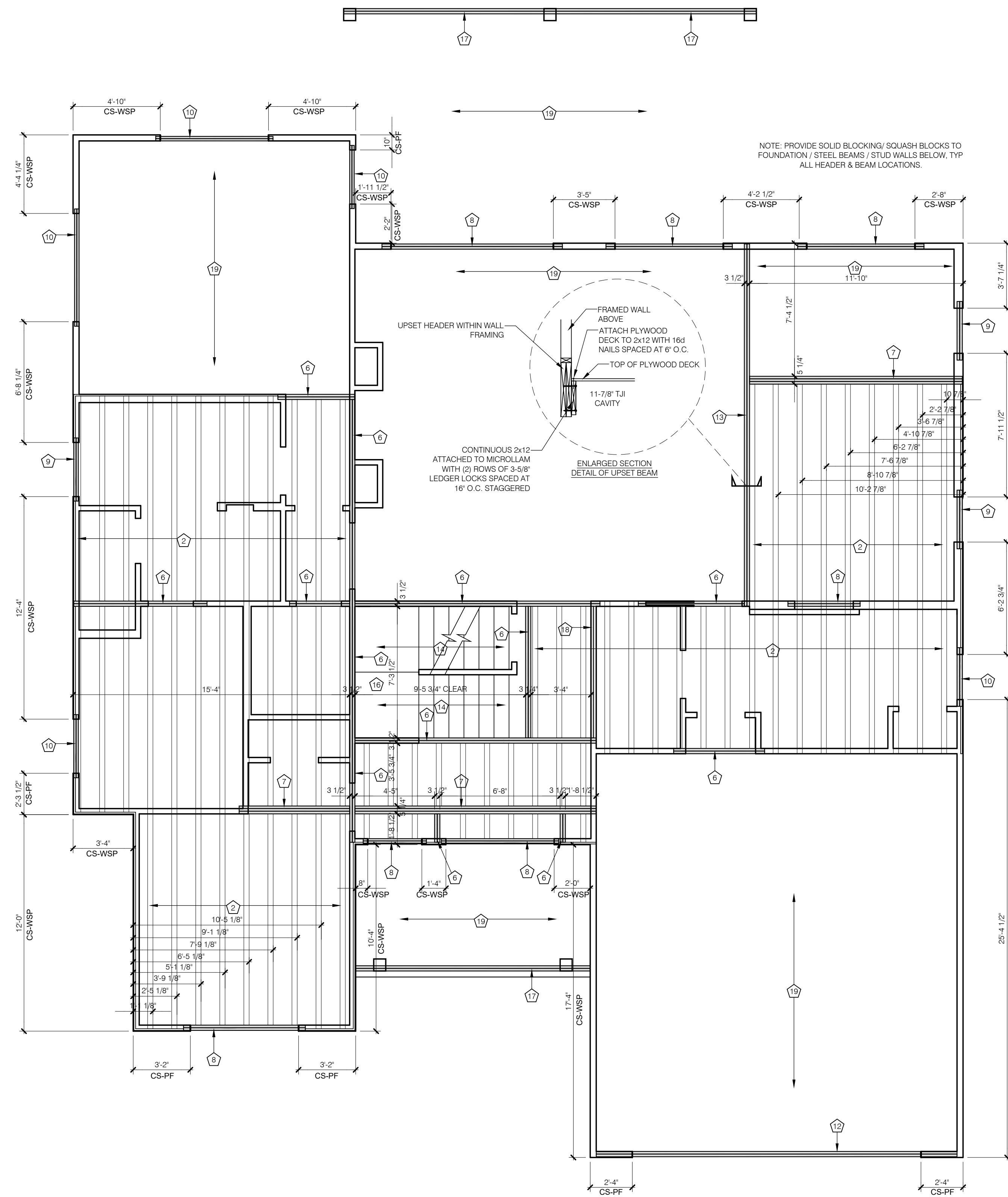


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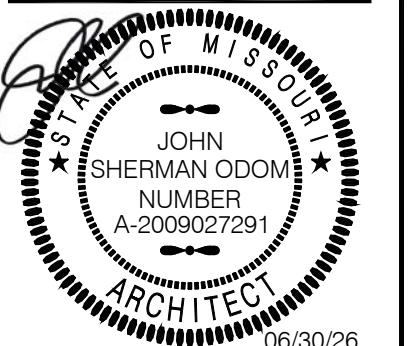
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A5.1
 SECOND FLOOR FRAMING PLAN



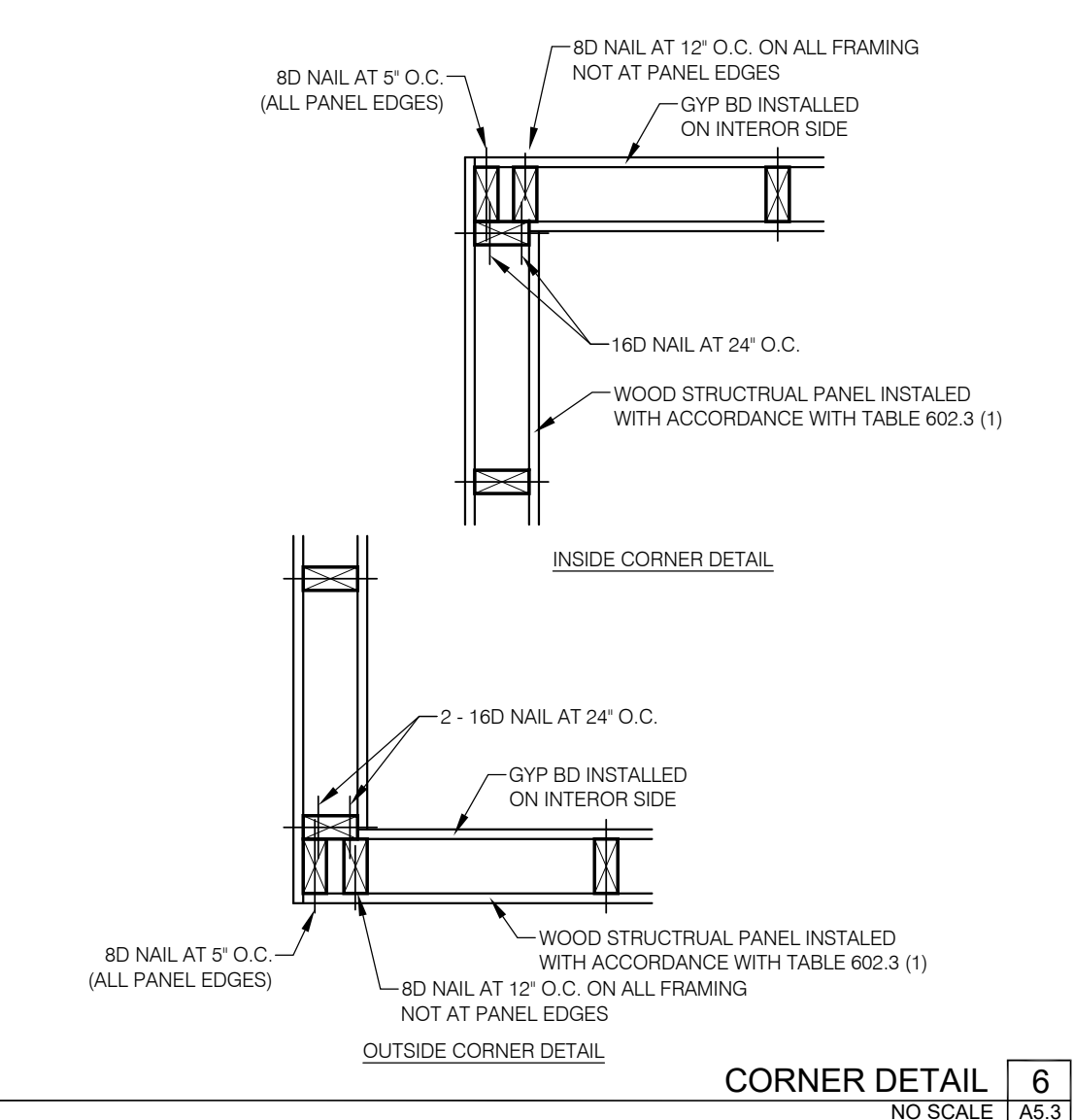
SIMPLIFIED PORTAL BRACED WALL DETAIL AT CONCRETE FOUNDATION 4
 NO SCALE A5.3



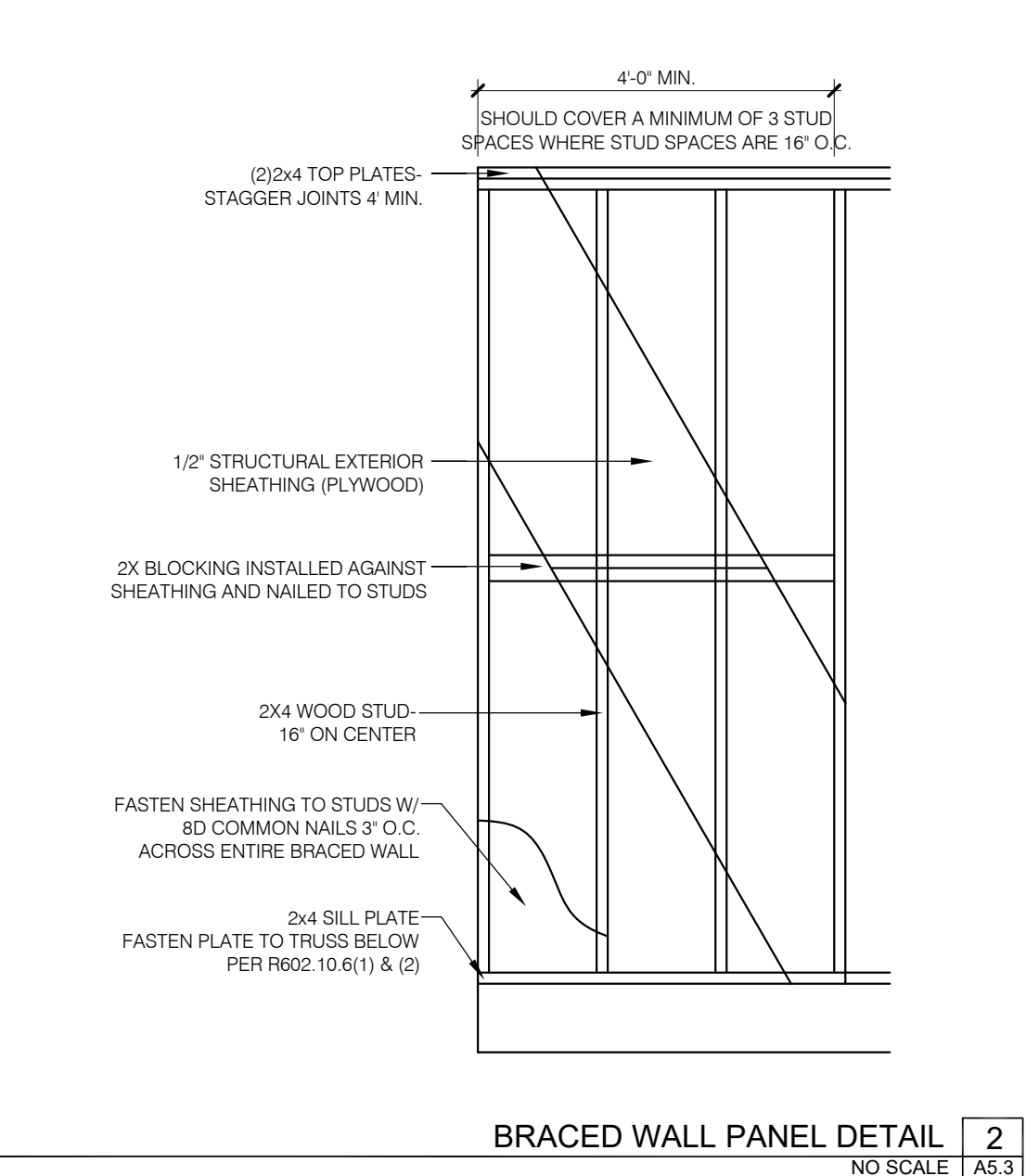
SIMPLIFIED PORTAL BRACED WALL DETAIL AT WOOD BAND BOARD 3
 NO SCALE A5.3



FIGURE R602.10.6(2) BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR / CEILING FRAMING 5
 NO SCALE A5.3



CORNER DETAIL 6
 NO SCALE A5.3



BRACED WALL PANEL DETAIL 2
 NO SCALE A5.3

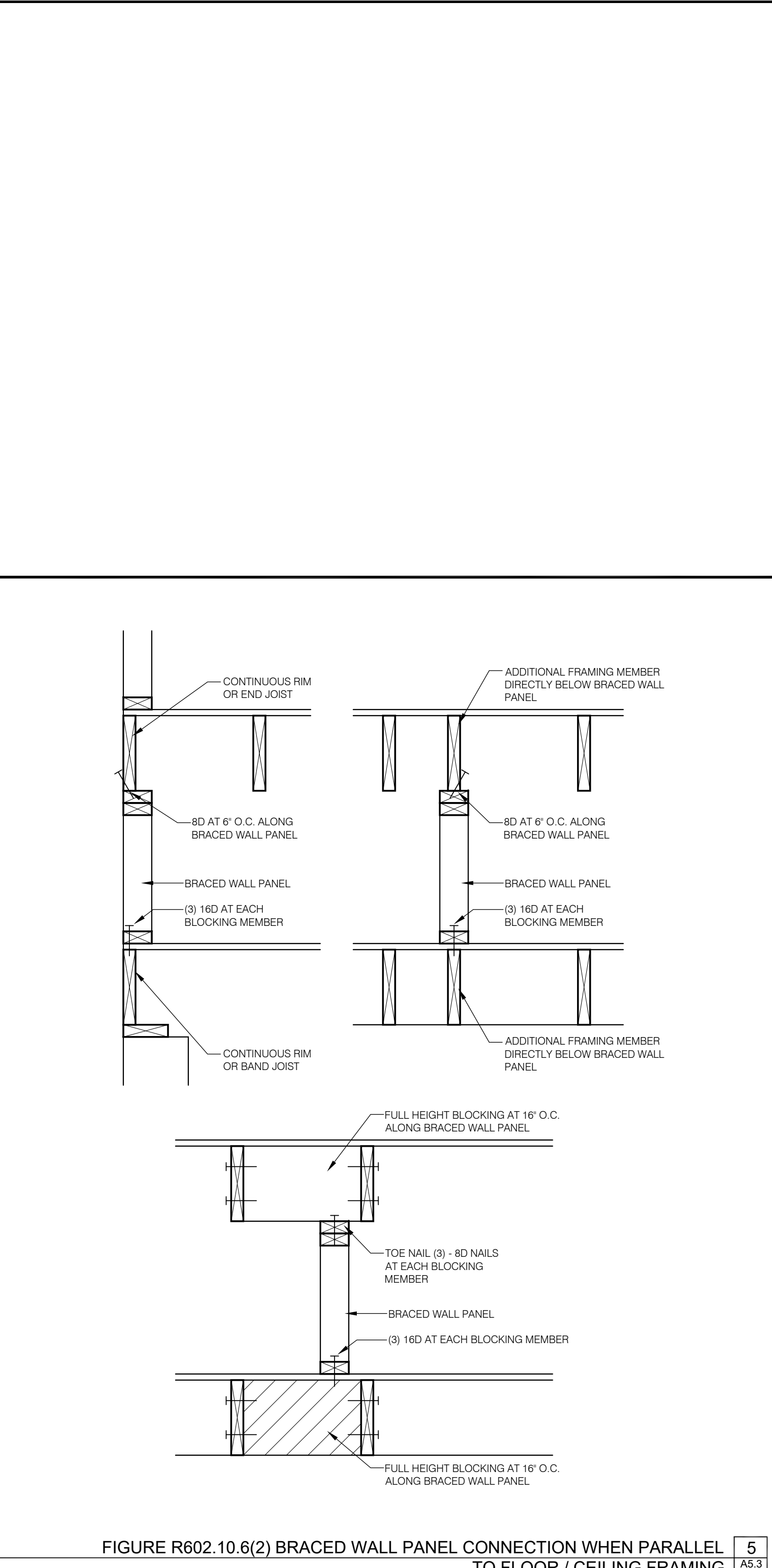
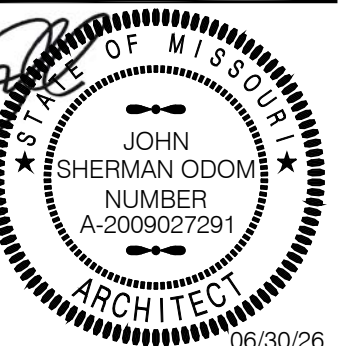


FIGURE R602.10.6(1) BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR / CEILING FRAMING 1
 NO SCALE A5.3



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HEATING AND AIR-CONDITIONING AND GENERAL MECHANICAL

CONTRACTOR PROVIDED HEATING AND AIR-CONDITIONING PLANS SHALL INDICATE FURNACE LOCATION, TYPE (IF AN ASSISTED DRAFT DRAFT OR NATURAL DRAFT), SOURCE OF COMBUSTION AIR (IF APPLICABLE), FLUE SIZES, DUCT LAYOUT, DIFFUSER LOCATIONS, AND AT LEAST ONE PROGRAMMABLE THERMOSTAT. A DETAIL SHALL BE PROVIDED SHOWING ALL GAS APPLIANCES, FLUE SIZES, CONNECTORS, LENGTHS, HEIGHTS, AND CLEARANCE DIMENSIONS. UNDERGROUND DUCT SYSTEMS SHALL BE CONSTRUCTED OF APPROVED CONCRETE, CLAY, METAL, OR PLASTIC. UNDERGROUND METALLIC DUCTS WITHOUT APPROVED PROTECTION FROM CORROSION SHALL BE COMPLETELY ENCASED IN 2" MINIMUM OF CONCRETE.

SUPPLY DUCTS OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-4.

APPROVED VENT SYSTEMS FOR APPLIANCES SHALL BE SIZED, INSTALLED AND TERMINATED PER MANUFACTURERS INSTALLATION INSTRUCTIONS. UNVENTED APPLIANCES THAT REQUIRE AN OPEN WINDWAY ARE PROHIBITED.

CHIMNEYS, MASONRY, METAL, AND FACTORY-BUILT SHALL EXTEND ABOVE THE ROOF THAT THEY PENETRATE A MINIMUM OF 3'-0" CHIMNEY SHALL BE AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTAL. INDICATE CHIMNEY LOCATION ON EACH FLOOR LEVEL PLAN AND IN SECTION. FACTORY-BUILT CHIMNEYS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL103.

GAS APPLIANCES LOCATED IN ROOMS OR SPACES WHOSE VOLUME IS LESS THAN 50 CUBIC FEET/1000 BTU/Hr. INPUT RATING SHALL HAVE COMBUSTION AND DILUTION AIR PROVIDED IN ACCORDANCE WITH THE FOLLOWING: USING INSIDE AIR. 1 SQ. IN. OF FREE AREA SHALL BE PROVIDED/1000 BTU/Hr. EACH OPENING. OPENINGS SHALL NOT BE LESS THAN 100 SQ. INCHES OF FREE AREA. ONE OPENING SHALL BE PROVIDED WITHIN 12" OF THE CEILING AND ONE WITHIN 6" OF THE FLOOR. NO COMMON DOTS PERMITTED. COMBUSTION AIR MAY NOT BE OBTAINED FROM BATHROOMS.

USING OUTSIDE AIR. ONE OPENING SHALL BE PROVIDED WITHIN 12" OF THE CEILING WITH A NET FREE AREA OF 1 SQ. IN./3000 BTU/Hr TOTAL INPUT RATING OF ALL APPLIANCES LOCATED IN THE ENCLOSURE. APPLIANCES SHALL NOT BE INSTALLED IN A BEDROOM, BATHROOM OR A STORAGE CLOSET. EXCEPTIONS: THE APPLIANCE IS A DIRECT VENT UNIT OBTAINING ALL COMBUSTION AIR DIRECTLY FROM OUTDOORS. OR, THE APPLIANCE IS INSTALLED IN A CLOSET IS USED SOLELY FOR APPLIANCES. THE CLOSET DOOR IS SELF-CLOSING, SOLID AND WEATHER STRIPPED, AND COMBUSTION AIR IS PROVIDED FROM OUTDOORS. MINIMUM APPLIANCE CLEARANCE FROM COMBUSTIBLES IS 18 INCHES UNLESS THE LISTED MANUFACTURERS INSTALLATION INSTRUCTIONS ALLOW AN ALTERNATE CLEARANCE DIMENSION. A MINIMUM OF 30 INCHES OF CLEARANCE IS REQUIRED AT THE FRONT OF THE APPLIANCE FOR SERVICE.

EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE. LOCATED IN THE SAME ROOM AND WITHIN 6" OF THE APPLIANCE. AND A GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED DOWNSTREAM AT THE APPLIANCE SHUTOFF VALVE AT EACH APPLIANCE. INTERIOR GAS PIPING LOCATED OUTSIDE OF THE ROOM OF THE SERVED APPLIANCE SHALL BE INSTALLED AT INTERVALS OF NO MORE THAN 5 FEET. EXCEPTION: STEEL PIPE DOES NOT NEED TO BE LABELED. EQUIPMENT AND INSTALLANCES (FURNACES AND WATER HEATERS) INSTALLED IN A PRIVATE GARAGE SHALL HAVE A CLEARANCE OF 18" MINIMUM (OR HIGHER WHERE REQUIRED BY MANUFACTURER) BETWEEN FINISHED FLOOR LEVEL AND THE IGNITION SOURCE, AND BE PROTECTED FROM DAMAGE BY PIPE BOLLARDS OR OTHER APPROVED METHOD. SUSPENDED FUEL BURNING APPLIANCES LOCATED IN PRIVATE GARAGES SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 6'-0" ABOVE THE FLOOR.

CLOTHES DRYER EXHAUST SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS, AND EXHAUST TO THE EXTERIOR THROUGH SMOOTH, 4" MIN. DIAMETER DUCT. INDICATE THE DUCT RUN AND TERMINATION POINT ON THE PLANS. THE MAXIMUM DEVELOPED LENGTH OF THE DUCT SHALL BE 35' (OBTAINED BY ADDING 5' FOR EACH 90° BEND AND 2.5' FOR EACH 45° BEND TO THE LENGTH OF THE STRAIGHT RUNS) EXCEPTION: THE MAXIMUM DEVELOPED LENGTH MAY BE EXTENDED TO 55' IF CLEARLY LABELED CLEANOUTS ARE PROVIDED WITHIN 12" OF THE END ELBOW, AT EVERY ELBOW THEREAFTER, AND AT LEAST EVERY 15' OF DEVELOPED LENGTH THEREAFTER. PERMANENT SIGNAGE MUST IDENTIFY EACH CLEANOUT LOCATION AND BE PROVIDED AT THE DRYER EXHAUST CONNECTION TO INFORM OCCUPANTS OF THE PERIODIC CLEANING AND INSPECTION REQUIREMENTS.

RESIDENTIAL BATHROOMS AND TOILET ROOMS SHALL EXHAUST 50 CFM MINIMUM TO THE EXTERIOR. IT IS PERMISSIBLE TO DISCHARGE EXHAUST TO AN ATTIC GABLE VENT OR VENTILATED SOFFIT. EXCEPTION: HALF-BATHS WITHOUT A TUB OR SHOWER MAY SUBSTITUTE A MINIMUM 50 CFM GLAZING AREA WINDOW, ONE-HALF OF WHICH MUST BE OPERABLE. KITCHEN RANGES SHALL HAVE A LISTED HOOD OR DOWNDRAFT EXHAUSTED TO THE EXTERIOR WITH A 100 CFM FAN (INTERMITTENT USE), OR A 25 CFM FAN (CONTINUOUS USE). ALTERNATELY, A LISTED AND LABELED RECIRCULATING DUCTLESS RANGE HOOD INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS (IF EQUIPPED WITH THE FILTRATION SYSTEM FOR GREASE REMOVAL AND ODOR CONTROL) IS NOT REQUIRED TO DISCHARGE OUTDOORS. MAKEUP AIR SHALL BE PROVIDED DURING THE OPERATION OF KITCHEN EXHAUST SYSTEMS IN EXCESS OF 60 CFM EXHAUST FLOW. THE AMOUNT OF MAKEUP AIR SHALL BE APPROXIMATELY EQUAL TO THE AMOUNT OF EXHAUST AIR. MAKEUP AIR SHALL BE PROVIDED BY GRAVITY OR MECHANICAL MEANS OR BOTH. THE EXHAUST AND MAKEUP AIR SYSTEMS SHALL BE AUTOMATICALLY CONTROLLED TO ENSURE MAKEUP AIR IS PROVIDED WHENEVER THE EXHAUST SYSTEM IS IN OPERATION.

PLUMBING
THE WATER SERVICE PIPE AND THE BUILDING SEWER ARE TO BE A MINIMUM OF 1/2" APART HORIZONTALLY.
THE MINIMUM SIZE OF THE WATER SERVICE PIPING IS 1" UP TO THE FIRST BRANCH.
PLASTIC WATER SERVICE PIPING SHALL TERMINATE A MINIMUM OF 10'-0" OUTSIDE THE FOUNDATION WALL AND METALLIC PIPING BROUGHT INTO THE BUILDING UP TO THE OUTLET OF THE HOUSE VALVE OR THE FRYV OUTLET, WHICHEVER IS FURTHER FROM THE POINT OF ENTRANCE TO THE BUILDING. MINIMUM WATER MAIN PRESSURE MUST BE CONSIDERED WHEN SIZING THE WATER SERVICE PIPING.

AN EXPANSION TANK IS REQUIRED FOR WATER HEATERS MORE THAN 30 GALLONS. SHOWERS AND BATH-TUB / SHOWER ENCLOSURES SHALL HAVE WALLS CONSTRUCTED OF SMOOTH, NONPOROUS, NONABSORBENT AND WATERPROOF MATERIALS TO A HEIGHT OF NOT LESS THAN 6'-0" ABOVE THE ROOM FLOOR LEVEL. SHOWER FLOOR SURFACES TO BE SMOOTH, NONPOROUS, NONABSORBENT AND WATERPROOF MATERIALS.

GUTTERS AND DOWNSPOUTS REQUIRED ON ROOF OVERHANGS LESS THAN 36" DOWNSPOUTS ARE NOT TO BE CONNECTED TO A SANITARY SEWER. BASEMENT AREAWAY DRAINS AND FOUNDATION DRAIN TILES ARE NOT TO BE CONNECTED TO A SANITARY SEWER.

A FLOOR DRAIN IS REQUIRED FOR A WATER HEATER AND MUST BE WITHIN 15'-0" AND IN THE SAME ROOM. LEAD-FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING. WINDOW AREAWAY DRAINS LESS THAN 10 SQUARE FEET IN AREA SHALL BE SERVED BY A 2" PIPE DRAINED TO DAYLIGHT OR A SUMP PIT SERVED BY AN APPROVED PUMP INSTALLATION. WINDOW AREAWAY DRAINS 10 SQUARE FEET OR GREATER BUT LESS THAN 100 SQUARE FEET IN AREA SHALL BE SERVED BY A 2" PIPE DRAINED IN THE SAME MANNER. AREAWAYS GREATER THAN 100 SQUARE FEET REQUIRE THE DRAIN TO BE SIZED IN ACCORDANCE WITH TABLE 11-2 OF THE PLUMBING CODE. THE PRESENCE OF A COVER OVER THE AREAWAY DOES NOT NEGATE THE NEED FOR A DRAIN.

ELECTRICAL

NOTE: ELECTRICAL SERVICES OF 600 AMPS AND ABOVE REQUIRE SUBMISSION OF RISER DIAGRAM DETAILING THE WIRING FROM THE SERVICE ENTRANCE TO THE SUB PANELS.
INTERIOR STAIRWAYS ARE TO BE PROVIDED WITH A MINIMUM OF 1 FOOT CANDLE OF LIGHT MEASURED AT EVERY TREAD NOSING. ALL EXTERIOR STAIRWAYS SERVING THE DWELLING TO HAVE A LIGHT IN THE IMMEDIATE VICINITY OF THE STAIR LANDING CLOSEST TO THE HOUSE. INTERIOR STAIRWAYS SHALL HAVE LIGHTING CONTROLS AT EACH FLOOR LEVEL. SWITCHES MUST BE OPERABLE FROM THE TOP AND BOTTOM OF THE STAIRWAY WITHOUT TRAVERING ANY STEP OF THE STAIRWAY. ALL EXTERIOR STAIRWAYS SERVING THE DWELLING SHALL HAVE LIGHTS OR CONTROLS BY ONE OF THE FOLLOWING METHODS: CONTROLS INSIDE THE DWELLING, OR AUTOMATICALLY, OR CONTINUOUSLY OPERATED.

GROUND FAULT CIRCUIT-INTERRUPTION PROTECTION SHALL BE PROVIDED FOR ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS: BATHROOMS GARAGES, UNFINISHED PORTIONS OF ACCESSORY BUILDING AT OR BELOW GRADE LEVEL. EXCEPTION: CEILING MOUNTED RECEPTACLE FOR GARAGE DOOR OPENER. A SINGLE OR A DUPLEX RECEPTACLE FOR THE APPLIANCES LOCATED IN A THE DEDICATED SPACE FOR NORMAL USE. OUTDOORS (INCLUDING INSIDE SCREENED ENCLOSURES) UNFINISHED BASEMENT AREAS AND CRAWL SPACES EXCEPT FOR LAUNDRY CIRCUIT AND SINGLE RECEPTACLE DEDICATED TO SUMP PUMPS. RECEPTACLES INTENDED TO SERVE KITCHEN COUNTER TOP SURFACES. RECEPTACLES INTENDED TO SERVE THE COUNTER TOP SURFACES OF A WET BAR THAT ARE LOCATED WITHIN 6'-0" OF THE OUTSIDE EDGE OF THE WET BAR SINK.

ARC-FAULT CIRCUIT INTERRUPTION PROTECTION SHALL BE PROVIDED FOR ALL CIRCUITS SUPPLYING POWER TO BEDROOMS. RECEPTACLES ARE REQUIRED TO BE INSTALLED IN THE FOLLOWING AREAS: IN ALL HABITABLE ROOMS EXCEPT BATHROOMS SO THAT NO SPACE ALONG A WALL IS MORE THAN 6' FROM A RECEPTACLE. RECEPTACLES TO BE INSTALLED IN ALL BATHROOMS AND IN ALL KITCHENS. RECEPTACLES TO BE INSTALLED IN ALL CLOSETS ALONG THE COUNTER IS 12" WIDE OR GREATER SEPARATED BY SINKS, RANGES OR REFRIGERATORS. RECEPTACLES TO BE INSTALLED IN ALL GLASS DOORS, FIXED ROOM DIVIDERS SUCH AS FREE STANDING BATH TUB COLATORS OR RAILINGS. RECEPTACLES TO BE INSTALLED IN HALLWAYS OF 10'-0" OR MORE IN LENGTH, (FOYER IS AN ENTRY HALLWAY) KITCHEN AND DINING AREA COUNTER TOP RECEPTACLES SHALL BE SUPPLIED BY AT LEAST 2 DIFFERENT 20 AMP CIRCUITS. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE COUNTER IS MORE THAN 24" FROM A RECEPTACLE. ALL COUNTER TOP AREAS 12" WIDE OR GREATER SEPARATED BY SINKS, RANGES OR REFRIGERATORS SHALL BE PROVIDED WITH RECEPTACLES. RECEPTACLES INSTALLED FACE-UP IN COUNTER WORK-SURFACE ARE PROHIBITED. AT LEAST ONE RECEPTACLE SHALL BE INSTALLED TO SERVE EACH ISLAND OR PENINSULA COUNTER SPACE THAT IS 24" X 12" OR GREATER. IN BATHROOMS AT LEAST ONE WALL MOUNTED RECEPTACLE INSTALLED WITHIN 36" OF EACH BASIN.

OUTDOOR RECEPTACLES (WEATHER-PROOF TYPE) INSTALLED AT THE FRONT AND BACK OF THE HOUSE, ACCESSIBLE TO GRADE LEVEL AND NOT MORE THAN 6'-6" ABOVE GRADE LEVEL. AT LEAST 1 RECEPTACLE IN LAUNDRY AREA SUPPLIED BY A DEDICATED BRANCH CIRCUIT. AT LEAST 1 RECEPTACLE IN UNFINISHED BASEMENT AREAS AND THE GARAGE IN ADDITION TO THE LAUNDRY RECEPTACLE. REQUIRED RECEPTACLE OUTLETS LOCATED IN FLOORS SHALL BE WITHIN 18" OF WALL OR FIXED ROOM DIVIDER AND SHALL BE INSTALLED IN BOXES LISTED FOR THE PURPOSE. AT LEAST ONE RECEPTACLE IN BALCONY, DECK AND PORCH (OF 20 SQ FT OR MORE USABLE AREA THAT IS ACCESSIBLE FROM INSIDE DWELLING UNIT) AND SHALL NOT BE LOCATED MORE THAN 6'-6" ABOVE. AT LEAST ONE COMMUNICATION OUTLET SHALL BE INSTALLED WITHIN THE DWELLING AND CABLED TO THE SERVICE PROVIDER DEMARCATION POINT.

LIGHTING IS REQUIRED IN THE FOLLOWING AREAS: AT LEAST 1 WALL SWITCHED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STARWAY, ATTACHED GARAGE, DETACHED GARAGE (WITH ELECTRICAL POWER) AND AT EXTERIOR DOORS. OCCUPANCY SENSORS MAY BE USED IN ADDITION TO A WALL SWITCH OR BE EQUIPPED WITH A MANUAL OVERRIDE AND BE LOCATED AT THE CUSTOMARY WALL SWITCH LOCATION. AT LEAST 1 LIGHTING OUTLET AND ONE RECEPTACLE ARE REQUIRED IN EACH ATTIC, CRAWL SPACE, BASEMENT OR UTILITY ROOM THAT IS USED FOR STORAGE OR CONTAINS HEATING, AIR-CONDITIONING OR OTHER EQUIPMENT REQUIRING SERVICE. THE LIGHT SWITCH SHALL BE LOCATED AT THE POINT OF ENTRY. LIGHTING IN CLOTHES CLOSETS: THE USE OF INCANDESCENT FIXTURES WITH OPEN OR ONLY PARTIALLY ENCLOSED LAMPS AND THE USE OF PENDANT FIXTURES ARE PROHIBITED. FIXTURES MAY BE LOCATED ONLY WHERE THERE ARE THE FOLLOWING MINIMUM CLEARANCES TO THE NEAREST POINT OF STORAGE SPACE: SURFACE MOUNTED INCANDESCENT FIXTURES - 12" MINIMUM. SURFACE MOUNTED FLUORESCENT FIXTURES AND RECESSED FIXTURES - 6" MINIMUM.

ELECTRICAL PANELS:
1. ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS OR CLOTHES CLOSETS.
2. LIGHTING IS REQUIRED IN THE VICINITY OF THE ELECTRICAL PANEL.
3. ELECTRICAL PANELS IN NEW CONSTRUCTION SHALL NOT BE INSTALLED IN AREAS WITH LESS THAN 6'-6" HEADROOM.
4. A MINIMUM CLEARANCE OF 3'-0" DEEP AND 30" WIDE IS REQUIRED IN FRONT OF ELECTRICAL PANELS. COUNTERS AND CABINETS CANNOT BE INSTALLED UNDER THE ELECTRICAL PANEL.

LIGHTING FIXTURES ABOVE BATHTUBS: NO PARTS OF HANGING FIXTURES, TRACK LIGHTING AND CEILING PADOLE FANS SHALL BE INSTALLED WITHIN 3'-0" HORIZONTALLY OF A BATHTUB, MEASURED FROM THE OUTSIDE EDGE OF THE TUB AND 8'-0" VERTICALLY FROM THE TOP OF THE TUB RIM. RECEPTACLES SHALL NOT BE INSTALLED WITHIN A BATHTUB OR SHOWER SPACE.

GROUNDING: RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS MUST BE A 3-POLE WITH GROUND TYPE. INTERSYSTEM BONDING TERMINAL SHALL BE PROVIDED FOR GROUNDING COMMUNICATION SYSTEMS (CABLE TV & SATELLITE DISHES). IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5'-0" OF THE POINT OF ENTRANCE TO THE BUILDING. A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53.

WOOD

- 1. STANDARDS: 'TIMBER CONSTRUCTION MANUAL' BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (LATEST EDITION), "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST EDITION).
- 2. USE SOUTHERN PINE NO. 2 OR BETTER WITH ALLOWABLE BENDING STRESS EQUAL TO 1250 PSI FOR ALL WOOD MEMBERS UNLESS OTHERWISE NOTED OR SHOWN.
- 3. PROVIDE BRIDGING AS REQUIRED BY THE JOIST MANUFACTURER FOR ALL WOOD JOISTS AND FLOOR TRUSSES.
- 4. 2X JOISTS SHALL NOT BE NOTICED GREATER THAN 1" FROM THE BOTTOM OF THE JOIST AND SHALL NOT HAVE A LENGTH GREATER THAN 3'-6" FROM THE CENTER LINE OF SUPPORT.
- 5. ALL LUMBER SHALL CONFORM TO THE SPECIES AND FULLY RECOGNIZE NOMINAL SIZES SHOWN ON THE FLOOR PLANS OR TRUSS ENGINEERS DESIGNS. ALL MEMBERS SHALL BE CUT FROM LUMBER, WHICH BEARS THE PROPER GRADE/MARK STAMP OF A RECOGNIZED GRADING ASSOCIATION OR LICENSED LUMBER INSPECTION AGENCY. NO LUMBER SHALL BE USED WHICH DOES NOT APPEAR TO CONFORM TO THE PROPER DIMENSIONS AND/OR GRADE.
- 6. AT WALL CONSTRUCTION PROVIDE BLOCKING AT ALL EDGES OF SHEATHING.
- 7. PROVIDE DOUBLE JOISTS UNDER NON-BEARING WALL PARALLEL TO JOISTS.
- 8. PROVIDE 2x BLOCKING BETWEEN FLOOR JOISTS AT INT. BEARING WALLS AND BELOW STUD COLUMNS BETWEEN SILL PLATE & PLYWOOD DECK.
- 9. FLOOR DECKING MINIMUM DESIGN VALUES: FRP#E = 1200 PSI, E = 1,000,000 PSI.
- 10. POSTS AND TIMBERS SHALL BE SOUTHERN PINE NO. 1 WITH Fc (PARALLEL TO GRAIN) = 1000 PSI, E = 1,600,000 PSI UNLESS OTHERWISE NOTED ON PLAN.
- 11. PLYWOOD SHALL BE AS FOLLOWS:
PLYWOOD SHOULD BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORT.
FLOOR: 3/4" THICK, CDX EXPOSURE I, 5 PLY WITH A 48/24 APA SPAN RATING.
ROOF: 1/2" THICK, CDX EXPOSURE I, 5 PLY WITH A 48/24 APA SPAN RATING.
GLUE LAMINATED DECKING SHALL CONSIST OF RANDOM LENGTHS PLACED IN A CONTIGUOUS RANDOM LAY-UP. CONTINUOUS OVER THREE OR MORE EQUAL SPANS.

DESIGN CRITERIA

- 1. THE INTERNATIONAL BUILDING CODE (IBC) 2015 & INTERNATIONAL RESIDENTIAL CODE (IRC) 2015
- 2. DESIGN LOADS:
DEAD LOAD: MATERIAL SELF WEIGHT
LIVE LOAD: ROOF = 20 PSF
FLOOR = 40 PSF
BEDROOM = 30 PSF
- 3. SEISMIC LOAD: SEISMIC DESIGN CATEGORY C
SS = S4 S1 = 18
R = 6/12 I = 1.0
SOIL SITE CLASS "D" ASSUMED
- 4. WIND LOAD: EXPOSURE C, BASIC WIND SPEED 90 MPH, WIND IMPORTANCE FACTOR = 1.0
- 5. SNOW LOAD:
GROUND SNOW LOAD: "P" = 20PSF

CONCRETE

- 1. STANDARDS
ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE & ACI 308R GUIDE TO RESIDENTIAL CONCRETE (LATEST EDITIONS)
- 2. ALL DETAILING, FABRICATION AND ERECTION FOR REINFORCING BARS AND THEIR SUPPORT IN THE FORMS WITH ACCESSORIES MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES' (ACI 318-LATEST) AND CRSI 'MANUAL OF STANDARD PRACTICE' (LATEST EDITION).
- 3. MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
A. UNFORMED SURFACE IN CONTACT WITH THE GROUND, 3 INCHES
B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER #8 BAR AND LARGER 2 INCHES
C. FORMED SURFACES EXPOSED TO EARTH OR WEATHER #5 BAR AND SMALLER 1-1/2 INCHES
D. FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER WALLS / SLABS 3/4 INCHS
- 4. CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:
STRENGTH (PSI) DENSITY (PCF)
ALL OTHER CONCRETE U.N.O. 3500 145

5. REINFORCING BARS SHALL BE ASTM A615-GR60 STEEL, U.N.O. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. WELDED WIRE FABRIC MUST LAP AT LEAST 2' SIDE AND 6" AT ENDS AND BE WROD TOGETHER.
6. THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS MUST BE REFERRED TO FOR ALL MECHANICAL FLOOR REQUIREMENTS, HOUSEKEEPING PADS & EQUIPMENT INERTIA BASES, AND THE VARIOUS TRADES ARE RESPONSIBLE FOR THE PLACING OF SLEEVES, OUTLET BOXES, ANCHORS, ETC. THAT MAY BE REQUIRED.

7. FINE AGGREGATE: SHALL BE CLEAN, HARD, DURABLE AND FREE OF DELETERIOUS SUBSTANCES AND CONFORM TO ASTM C33.

8. COURSE AGGREGATE: SHALL BE CLEAN, HARD, DURABLE WITHOUT FLAT OR ELONGATED PIECES AND SHALL CONFORM TO ASTM C33 #67.

9. UNLESS OTHERWISE SHOWN IN THE ARCHITECTURAL DRAWINGS, PROVIDE 3/4" CHAMFERS AT ALL EDGES THAT ARE EXPOSED TO VIEW IN THE FINISHED STRUCTURE.

10. SEE ARCHITECTURAL DRAWINGS FOR DOOR AND WINDOW OPENINGS, DRIP SLOTS, REGLES, MASONRY, ANCHORS, BRICK LEGE ELEVATIONS AND FOR MISCELLANEOUS EMBEDDED PLATES, BOLTS, ANCHORS, ANGLES, ETC.

11. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES. WHERE FINISH IS NOT SPECIFIED, CONFORM TO REQUIREMENTS OF ACI 301.

12. FLOOR SLAB CONSTRUCTION SHALL CONFORM TO GUIDELINES OF ACI 302. FLOOR FINISHED SURFACE SHALL CONFORM TO THE ACI 302 TOLERANCES FOR FLATNESS AND LEVELNESS NUMBERS F1 SPECIFIED.

13. ALL STRUCTURAL STEEL MUST BE PROTECTED BY 3" OF CONCRETE WHERE EARTH WOULD OTHERWISE BE IN CONTACT WITH STEEL.

14. PROVIDE THE FOLLOWING ADDITIONAL REINFORCING UNLESS OTHERWISE CALLED FOR ON STRUCTURAL PLANS:

- A. CORNER BARS AT ALL CORNERS AND INTERSECTIONS OF CONCRETE WALLS, GRADE BEAMS AND FOOTINGS TO MATCH HORIZONTAL REINFORCING.
- B. PROVIDE #4 SLAB DOWELS AT 12" CENTERS AT DOORS UNLESS NOTED OTHERWISE.
- C. BARS AT OPENINGS IN SLAB AND WALLS. PROVIDE BARS WITH AREA EQUAL TO INTERRUPTED REINFORCING. PLACE 1/2 AT EACH SIDE OF OPENING.
- 15. ALL ABUTTING CONCRETE MEMBERS SHALL BE DOWELED TOGETHER, UNLESS OTHERWISE NOTED. DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO THE REINFORCING IN THE ADJACENT MEMBERS.
- 16. WELDED REINFORCING BARS SHALL CONFORM TO ASTM A706, GRADE 60, WELDABLE STEEL.

MINIMUM ANCHOR BOLT LENGTHS, U.N.O.:

ANCHOR SIZE	1/4"	3/8"	1/2"	5/8"	3/4"	7/8"	1"	1-1/8"
MIN. EMBED. INTO CONC.	4-1/2"	5"	6"	9"	9"	9"	9"	10"

* ALL ANCHOR BOLTS SHALL HAVE A 2" MINIMUM 90° HOOK. ALL ANCHOR BOLTS SHALL BE A307 U.N.O.

17. CONCRETE FOR ALL BASEMENT WALLS, FOUNDATION WALLS, PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS SHALL BE AIR-ENTRAINED. BASEMENT SLABS AND INTERIOR SLABS SHALL BE AIR ENTRAINED IF THE PLACED CONCRETE IS SUBJECTED TO FREEZING AND THAWING.

WOOD

- 1. STANDARDS: 'TIMBER CONSTRUCTION MANUAL' BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (LATEST EDITION), "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST EDITION).
- 2. USE SOUTHERN PINE NO. 2 OR BETTER WITH ALLOWABLE BENDING STRESS EQUAL TO 1250 PSI FOR ALL WOOD MEMBERS UNLESS OTHERWISE NOTED OR SHOWN.
- 3. PROVIDE BRIDGING AS REQUIRED BY THE JOIST MANUFACTURER FOR ALL WOOD JOISTS AND FLOOR TRUSSES.
- 4. 2X JOISTS SHALL NOT BE NOTICED GREATER THAN 1" FROM THE BOTTOM OF THE JOIST AND SHALL NOT HAVE A LENGTH GREATER THAN 3'-6" FROM THE CENTER LINE OF SUPPORT.
- 5. ALL LUMBER SHALL CONFORM TO THE SPECIES AND FULLY RECOGNIZE NOMINAL SIZES SHOWN ON THE FLOOR PLANS OR TRUSS ENGINEERS DESIGNS. ALL MEMBERS SHALL BE CUT FROM LUMBER, WHICH BEARS THE PROPER GRADE/MARK STAMP OF A RECOGNIZED GRADING ASSOCIATION OR LICENSED LUMBER INSPECTION AGENCY. NO LUMBER SHALL BE USED WHICH DOES NOT APPEAR TO CONFORM TO THE PROPER DIMENSIONS AND/OR GRADE.
- 6. AT WALL CONSTRUCTION PROVIDE BLOCKING AT ALL EDGES OF SHEATHING.
- 7. PROVIDE DOUBLE JOISTS UNDER NON-BEARING WALL PARALLEL TO JOISTS.
- 8. PROVIDE 2x BLOCKING BETWEEN FLOOR JOISTS AT INT. BEARING WALLS AND BELOW STUD COLUMNS BETWEEN SILL PLATE & PLYWOOD DECK.
- 9. FLOOR DECKING MINIMUM DESIGN VALUES: FRP#E = 1200 PSI, E = 1,000,000 PSI.
- 10. POSTS AND TIMBERS SHALL BE SOUTHERN PINE NO. 1 WITH Fc (PARALLEL TO GRAIN) = 1000 PSI, E = 1,600,000 PSI UNLESS OTHERWISE NOTED ON PLAN.
- 11. PLYWOOD SHALL BE AS FOLLOWS:
PLYWOOD SHOULD BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORT.
FLOOR: 3/4" THICK, CDX EXPOSURE I, 5 PLY WITH A 48/24 APA SPAN RATING.
ROOF: 1/2" THICK, CDX EXPOSURE I, 5 PLY WITH A 48/24 APA SPAN RATING.
GLUE LAMINATED DECKING SHALL CONSIST OF RANDOM LENGTHS PLACED IN A CONTIGUOUS RANDOM LAY-UP. CONTINUOUS OVER THREE OR MORE EQUAL SPANS.

12. WALL STUDS: SPRUCE-PINE-FIR, STUD GRADE AT 16" CENTERS, (19% MAX. M.C.) WITH THE FOLLOWING MINIMUM PROPERTIES Fc = 425 PSI, E = 1,200,000 PSI.

BEARING WALL STUDS: SOUTHERN PINE NO. 2 (19% MAX. M.C.) WITH THE FOLLOWING MINIMUM PROPERTIES:
Fc = 1250 PSI, E = 1,600,000 PSI, Fv = 90 PSI

13. WHERE NOTED ON PLAN, USE LAMINATED VENEER LUMBER AS MANUFACTURED BY GANG-NAIL OR TRUSS JOISTS WITH THE FOLLOWING MINIMUM PROPERTIES Fc = 2600 PSI, E = 1,900,000 PSI, Fv = 285 PSI.

14. PROVIDE TRIPLE WOOD STUD BUILT-UP COLUMNS AT EACH END OF BEAM OR HEADER UNLESS OTHERWISE NOTED.

15. PROVIDE SIMPSON OR EQUAL STANDARD COLUMN BASES, COLUMN CAP, JOISTS HANGERS AND BEAM HANGERS WHERE REQUIRED FOR FLOOR AND ROOF FRAMING.

16. NAILING SHALL CONFORM TO THE NAILING SCHEDULE AS SHOWN IN TABLE 602.3(1) OF THE 2009 IRC OR AS INDICATED ON DRAWINGS FOR DIAPHRAGM AND SHEAR WALLS.

17. ENGINEERED WOOD I-JOISTS SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS AND PER THE ENGINEERED WOOD ASSOCIATIONS' (APA) 'PRI-400 PERFORMANCE STANDARD FOR APA EWS I-JOISTS'.

18. FLOOR SHEATHING TO BE GLUE-NAILLED TO JOISTS IN ACCORDANCE WITH THE REQUIREMENTS FOR APA RATED SHEATHING STURD-FLOOR CONFORMING TO PS1 OR PS2 WITH A MIN. THICKNESS OF 1/32.

19. MINIMUM BEARING FOR I-JOISTS SHALL BE 1/4" FOR THE END BEARINGS AND 3/12" FOR INTERMEDIATE BEARINGS.

20. EXCEPT FOR CUTTING JOIST TO LENGTH, I-JOIST FLANGES SHOULD NEVER BE CUT, DRILLED, OR NOTCHED.

21. IN MULTIPLE SPAN OR CANTILEVER CONDITIONS, I-JOISTS MUST HAVE THE BOTTOM CHORD LATERALLY BRACED WITH APPROVED BLOCKING AT INTERIOR SUPPORTS FOR MULTIPLE SPAN JOISTS, AND AT THE END OF ALL CANTILEVER EXTENSIONS. SEE MANUFACTURERS SUGGESTED DETAILS.

22. INSTALL ALL MICROLAMLS AND LVL LUMBER IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND 'APA PRL-501: PERFORMANCE STANDARD FOR APA EWS LAMINATED VENEER LUMBER'.

23. ATTACH MULTIPLE-MEMBER MICROLAM OR LVL BEAMS IN ACCORDANCE WITH MANUFACTURERS DETAILS.

24. MINIMUM BEARING FOR MICROLAMLS AND LVL'S IS 2 TRIMMERS (3) AT ENDS AND 7-1/2" AT CONTINUOUS SPAN SUPPORTS.

25. PROVIDE WALL BRACING THROUGHOUT STRUCTURE AS SHOWN ON THE PLANS.

26. MINIMUM WOOD HEADER SIZE OVER WINDOW OPENINGS IS (2) 2X10 UNLESS NOTED OTHERWISE ON THE FRAMING PLANS.

UNDERCUT ANCHORS:
UNDERCUT ANCHORS TO BE PROVIDED SHALL HAVE THE FOLLOWING EMBEDMENTS AND ALLOWABLE WORKING LOADS (U.N.O.), (PROVIDE MIN. EDGE DISTANCES AND SPACINGS AS RECOMMENDED BY MANUFACTURER):

	ANCHOR DIAM.	EMBED.	TENSION CAP. (LB)	SHEAR CAP. (LB)
UNDERCUT CONCRETE (1)	3/4"	4-3/4"	3,200	4,600
UNDERCUT CONCRETE (1)	5/8"	4-1/2"	2,400	3,300
UNDERCUT CONCRETE (1)	1/2"	3-1/2"	1,700	2,200

(1) Fc = 3000 PSI MIN.

FOUNDATIONS

- 1. A GEOTECHNICAL INVESTIGATION WAS NOT PERFORMED FOR THIS PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY CONTAMINATED SOIL, UNCONTROLLED FILL, EXPANSIVE SOILS, ETC. BENEATH THE PROPOSED FOUNDATIONS. IT IS RECOMMENDED THAT THE OWNER HIRE A GEOTECHNICAL FIRM TO PROVIDE AN ANALYSIS OF THE EXISTING IN SITU SOILS BENEATH THE PROPOSED FOUNDATIONS TO IDENTIFY ANY POTENTIAL SOILS PROBLEMS.
- 2. FOOTINGS SHALL BEAR ON ENGINEERED FILL OR VIRGIN SOIL CAPABLE OF SUSTAINING A BEARING PRESSURE OF 1500 P.S.F. UNDER FULL SERVICE LIVE AND DEAD LOAD. WHERE FOOTINGS ARE CONSTRUCTED ON BACKFILLED SOIL, BACKFILL SHALL BE COMPACTED TO PROVIDE A STABLE SUBGRADE FOR THE FOOTING CAPABLE OF PERMANENTLY SUSTAINING THE BEARING CAPACITY LISTED ABOVE.
- 3. FOOTINGS SHALL BE POURED INTO A EARTH-FORMED TRENCH.
- 4. BOTTOM OF EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 30 INCHES BELOW FINAL GRADE FOR Frost PROTECTION.
- 5. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACK-FILLING PRESSURES UNTIL FLOOR SLABS AT TOP AND BOTTOM ARE IN PLACE.
- 6. WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- 7. FOUNDATION CONCRETE CONTRACTOR TO PROVIDE AND INSTALL BASEMENT UNDERCUT CONCRETE REINFORCING STEEL IN ACCORDANCE WITH IRC TABLE R404.1.2(3) FOR AN ASSUMED LATERAL, SOIL LOADING OF 60 PSF/FT.

MISCELLANEOUS:

- 1. DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.
- 2. NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- 3. NO CHANGE IN SIZE OF DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- 5. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTORS CONSTRUCTION METHODS AND/OR SEQUENCES.
- 6. DO NOT SCALE THESE DRAWINGS. USE WRITTEN DIMENSIONS ONLY TO CONSTRUCT FROM.
- 7. CONTRACTORS CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD. EXPANSION JOINTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED TO ACCOMMODATE ANTICIPATED THERMAL MOVEMENT AFTER THE BUILDING IS COMPLETE.
- 8. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECTS APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- 9. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS OR AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ARCHITECT BEFORE THE AFFECTED WORK PROCEEDS.
- 10. THE DESIGN AND ENGINEERING OF SHORING AS REQUIRED BY THE CONTRACTORS CONSTRUCTION METHODS, AS WELL AS ITS CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL FABRICATION AND ERECTION SHALL COMPLY WITH THE ASD AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS (LATEST EDITION).
- 2. STEEL SHALL CONFORM TO THE FOLLOWING GRADDES:
A572 (Fy = 50)
A36
E70XX
A242
A307, U.N.O.

3. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE (LATEST EDITION), EXCEPT AS MODIFIED IN THESE NOTES AND THE PROJECT SPECIFICATIONS.

4. ANCHOR BOLTS SHALL EXTEND INTO CONCRETE NOT LESS THAN 9" WHERE POSSIBLE PLUS 4" = HOOK AND SHALL BE HELD AT 2-1/2" MINIMUM FROM OUTSIDE FACE OF CONCRETE. ALL ANCHOR BOLTS SHALL BE HELD 1-1/2" FROM EDGE OF BASE PLATE WHERE POSSIBLE.

5. SPLICING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

6. NO CHANGE IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS SHALL BE MADE AND HOLES, SLOTS, CUTS, ETC., ARE NOT PERMITTED THROUGH ANY MEMBER UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.

7. FABRICATE ALL BEAMS WITH THE MILL CAMBER UP.

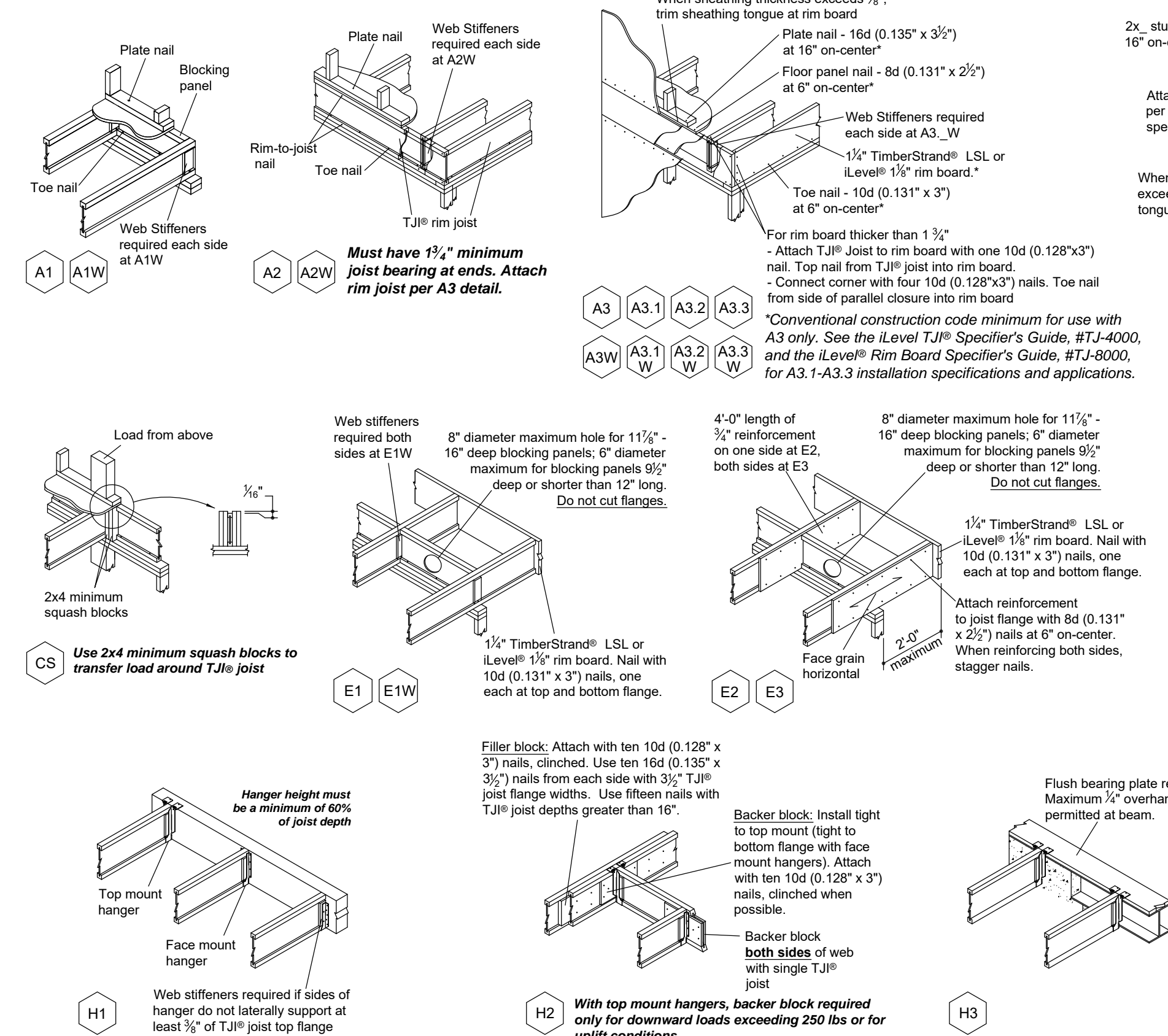
WOOD ROOF TRUSSES:

- 1. REFERENCE SPECIFICATIONS.
- 2. LUMBER:
THE DESIGN AND FABRICATION CRITERIA OF ALL WOOD TRUSSES SHALL CONFORM WITH THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST EDITION) 'TIMBER CONSTRUCTION MANUAL' (LATEST EDITION) AND DESIGN SPECIFICATIONS AND ALL THEIR REFERENCES WHERE SET OUT IN FULL HEREIN TRUSSES SHALL COMPLY WITH THE HUD HANDBOOK NO. 4990.2.
- 3. LUMBER USED FOR TRUSS MEMBERS SHALL CONFORM TO THE PUBLISHED STRESS RATINGS FOR THE SPECIES AND GRADES AS SET OUT IN THE OFFICIAL GRADING RULES OF THE APPROPRIATE LUMBER ASSOCIATIONS OR AS LISTED IN THE REFERENCE SPECIFICATIONS, EXCEPT THAT WHEREVER THESE SPECIFICATIONS OR NOTES ON THE PLANS OR TRUSS ENGINEERING DESIGNS CALLS FOR LUMBER WHICH EXCEEDS THE MINIMUM SET FORTH THEREIN, THE SPECIFICATIONS AND PLANS SHALL BE APPLICABLE AND INFORMATION STATED OR SHOWN IN ONE SHALL BE APPLICABLE SAME AS IF IN BOTH.

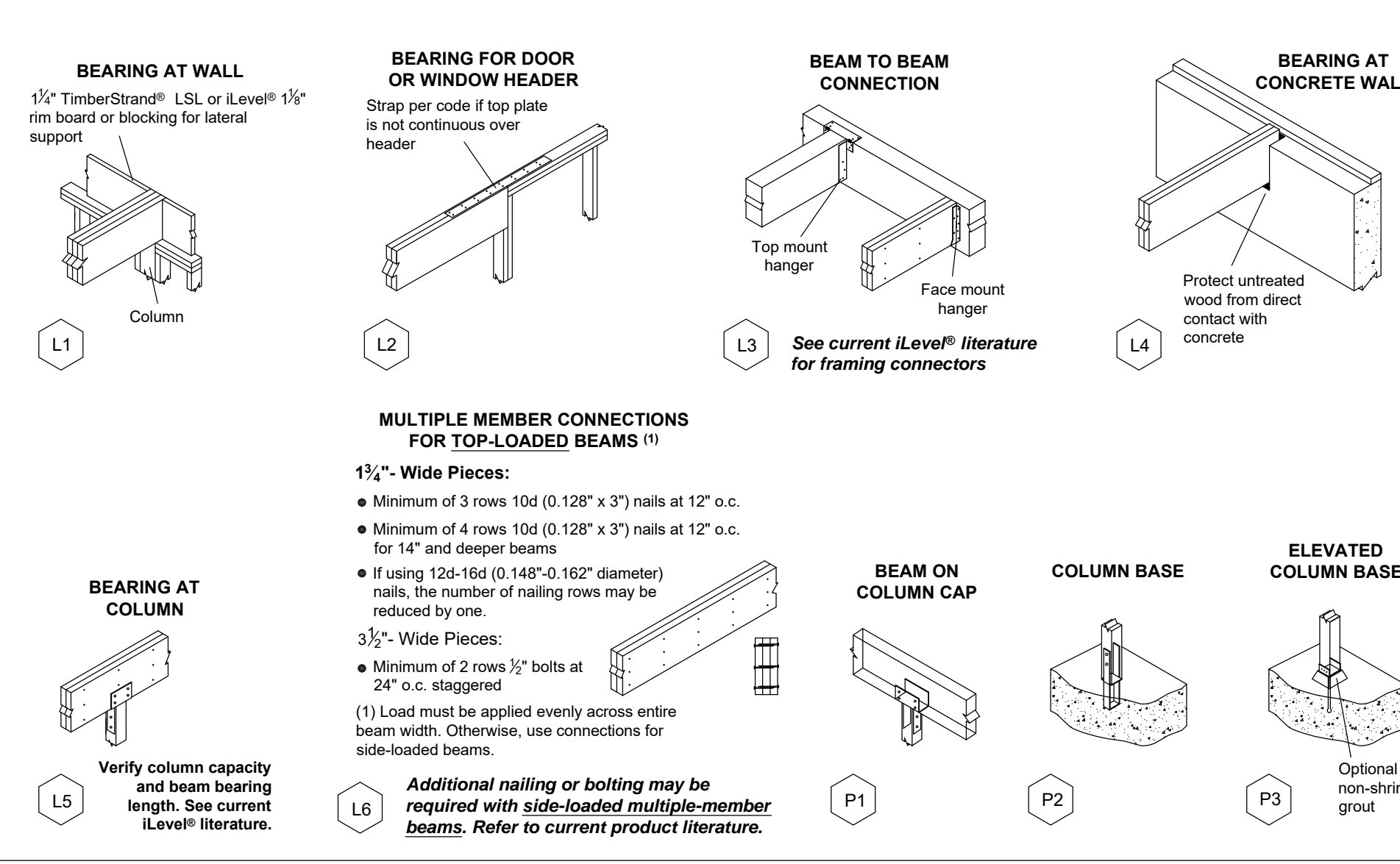
THE MOISTURE CONTENT OF ALL LUMBER SHALL BE WITHIN THE PROPER LIMITS, AS STATED IN THE REFERENCE SPECIFICATIONS, BUT SHALL NOT IN ANY CASE EXCEED 19% NOR BE LESS THAN 7% AT THE TIME OF FABRICATION.

3. CONNECTORS:
ALL TRUSS CONNECTOR PLATES SHALL BE MANUFACTURED FROM ONLY PRIME AND SECOND QUALITY GALVAN

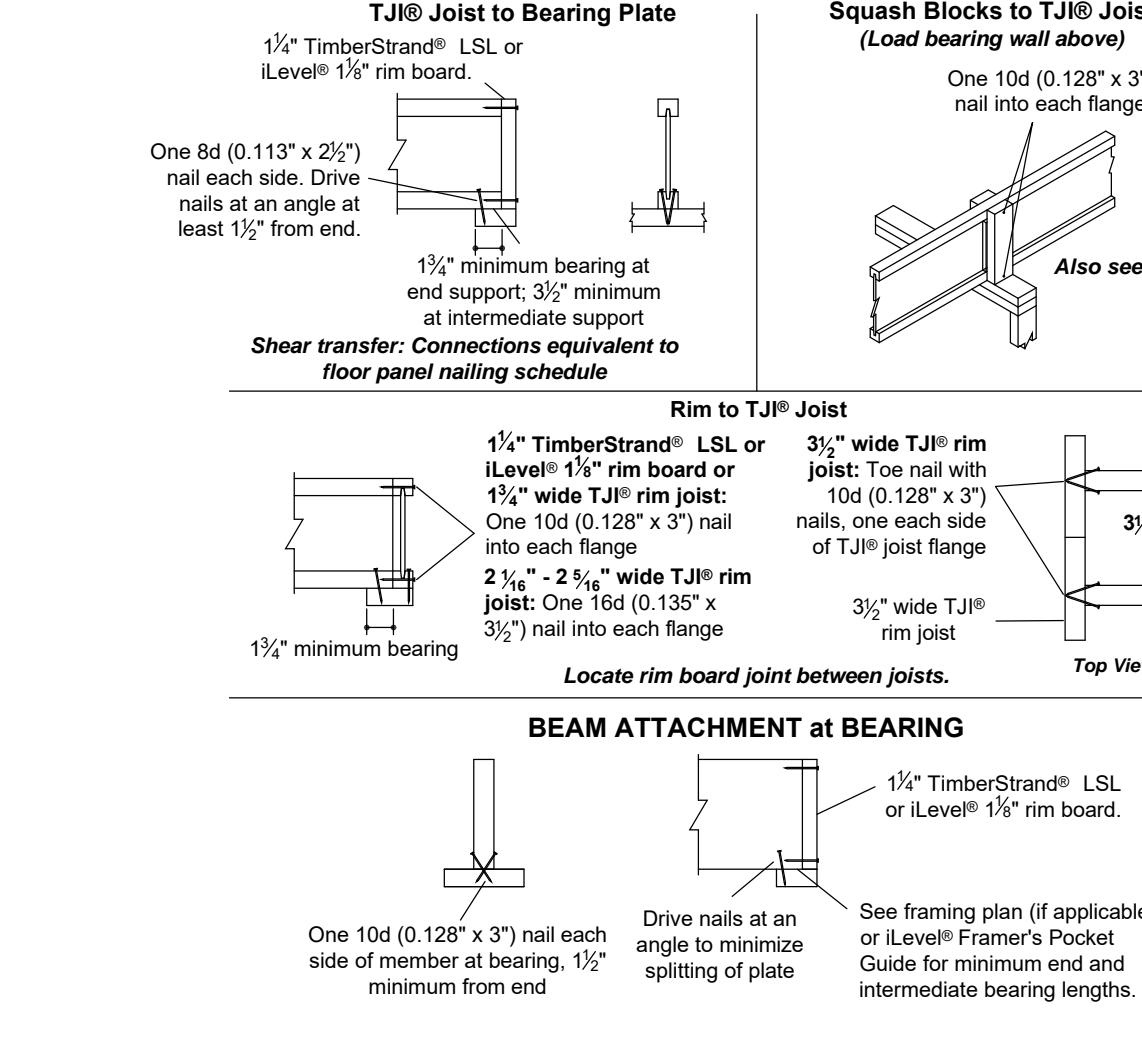
JOIST DETAILS



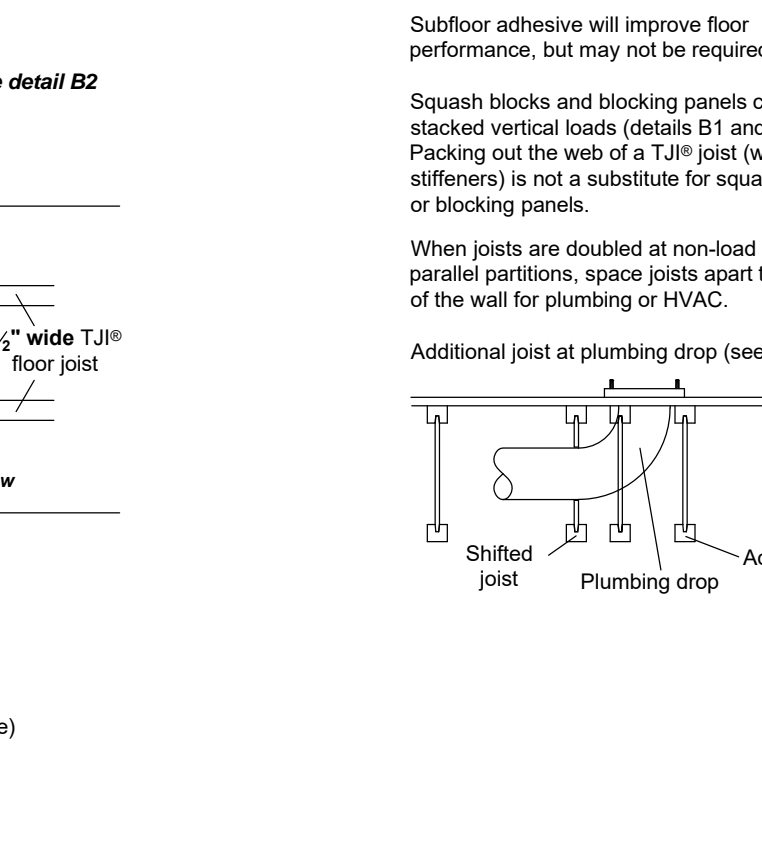
BEAM AND COLUMN DETAILS



TJI® JOIST NAILING REQUIREMENTS AT BEARING



INSTALLATION TIPS



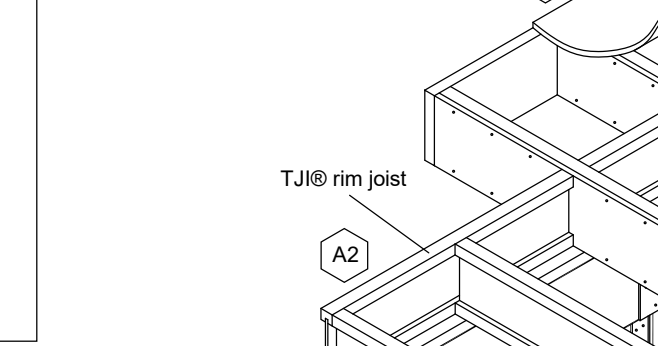
FASTENING OF FLOOR PANELS

Nail Size	TJI® Joists		Rim Board		1 1/2" TimberStrand® LSL or iLevel® 1 1/2" rim board	MicroLam LVL	Parallam PSL
	110	210	360	560			
8d (0.131" x 2 1/2")	12"	12"	12"	12"	12"	12"	12"
10d (0.148" x 3"), 12d (0.148" x 3 1/2")	4"	4"	4"	4"	4"	4"	4"
16d (0.162" x 3 1/2")	6"	6"	6"	6"	6"	6"	6"

FILLER and BACKER BLOCK SIZES

TJI Joists	110	210	360	560
Depth	9 1/2" or 11 1/2"	14" or 16"	14" or 16"	18" or 20"
Filler Block (1) (Detail H2)	2x6 x 2x8	2x6 + 3/4" sheathing	2x6 + 3/4" sheathing	2x12 + 3/4" sheathing
Backer Block (1) (Detail F1 or H2)	3/4" or 1"	3/4" or 1"	1" Net	2x6 x 2x8 x 2x12

EXTERIOR DECK ATTACHMENT



ALLOWABLE HOLES - TJI® Joists

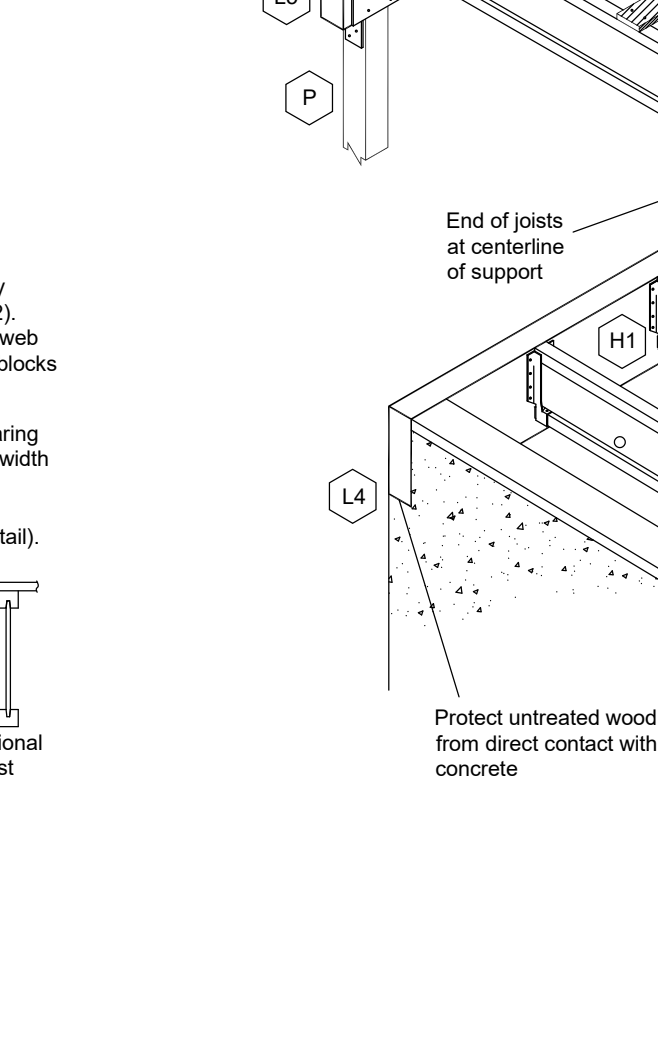


Table A - End Support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"
9 1/2"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
11 1/2"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
14"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
16"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
18"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110

Table B - Intermediate or Cantilever Support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"
9 1/2"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
11 1/2"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
14"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
16"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
18"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110

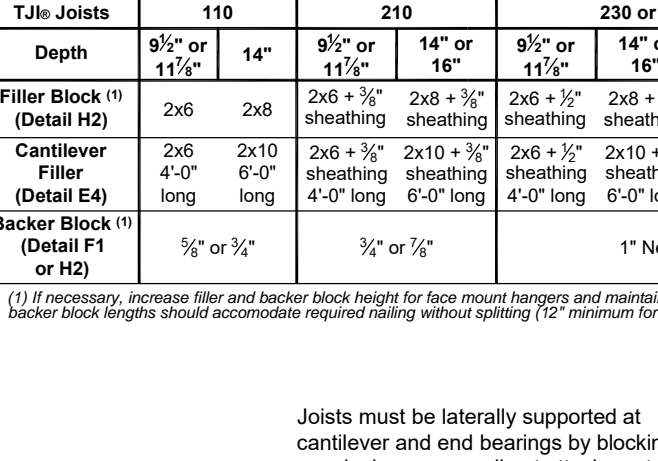
Table C - Intermediate or Cantilever Support

TJI Joist Series	Depth (in.)	Minimum Web Stiffener Size	Nailing Requirements	
			Type	Number Nails
110 210 230 & 360	All	3/4" x 2 1/2"	8d	3
	All	3/4" x 2 1/2"	8d	3
	All	1" x 2 1/2"	16d	3
560 & s47	All	2x4	16d	4
	All	2x4	16d	5
	All	2x4	16d	6

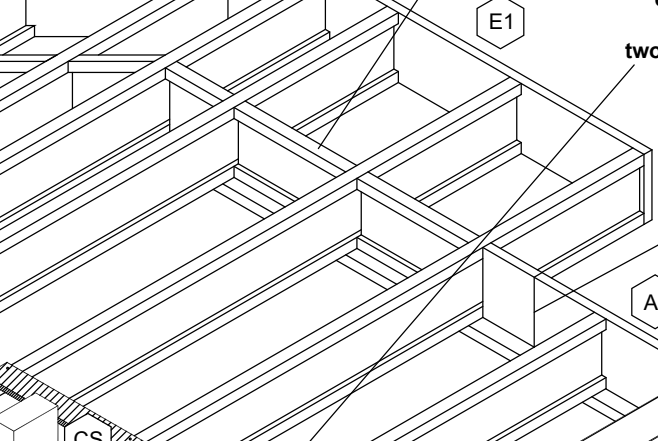
Table D - Intermediate or Cantilever Support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"
9 1/2"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
11 1/2"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
14"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
16"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
18"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110

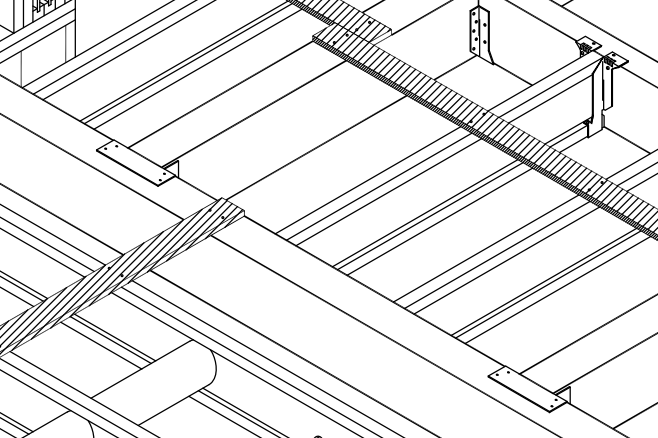
WARNING



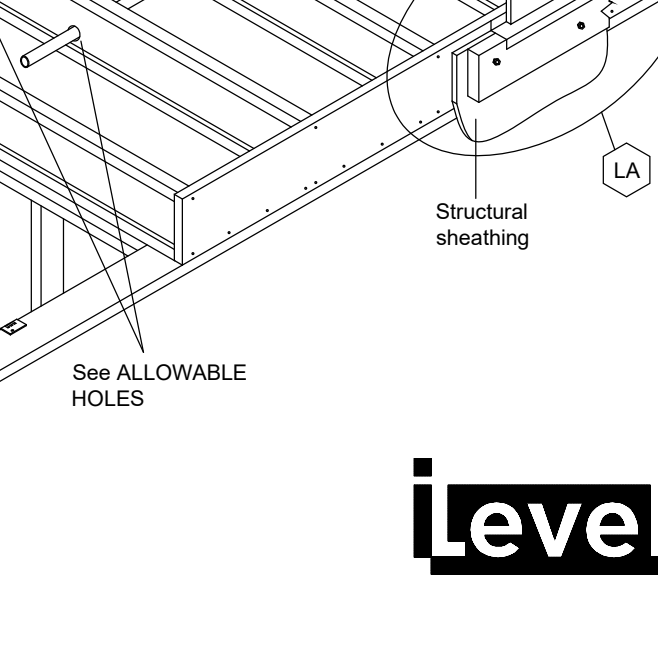
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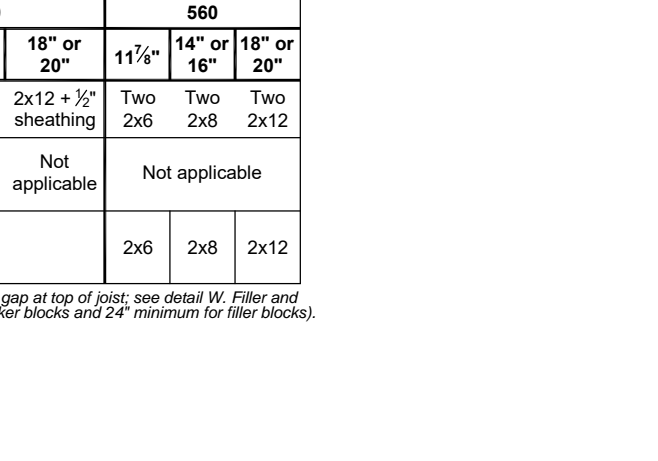
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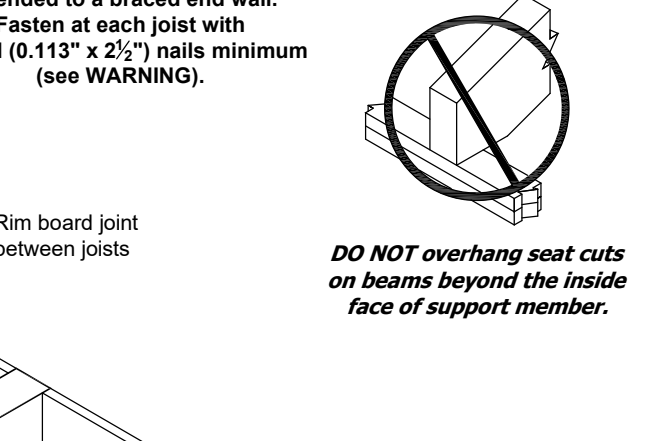
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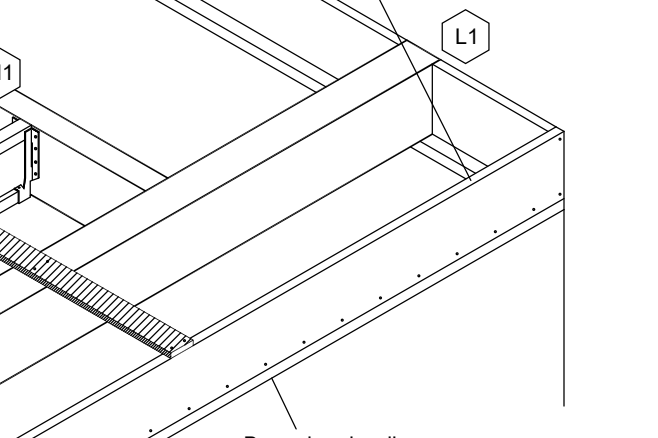
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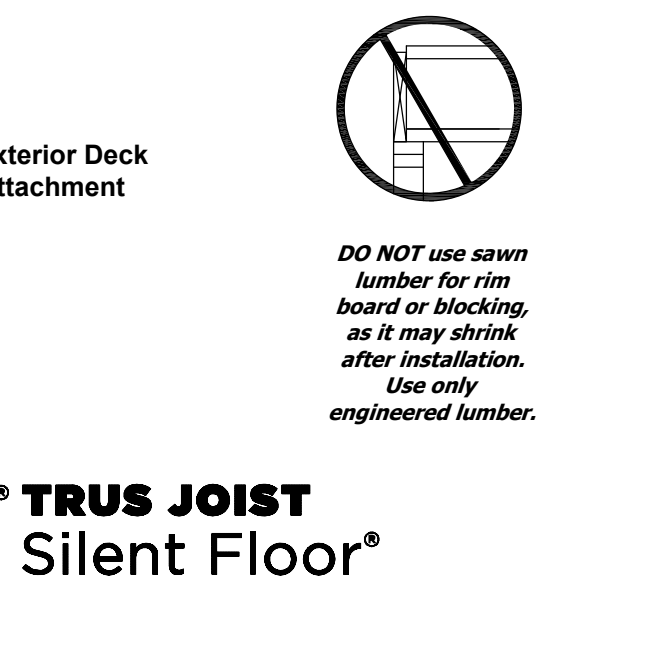
WARNING



WARNING



WARNING



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MISSOURI ARCHITECTURAL CORPORATION LICENSE NUMBER: 2009030445
PROJECT: JOHN S. ODOM
NEW CUSTOM RESIDENCE
FOR:
1175 HILLARD ROAD
GLENDALE, MISSOURI 63122
GENERAL CONTRACTOR

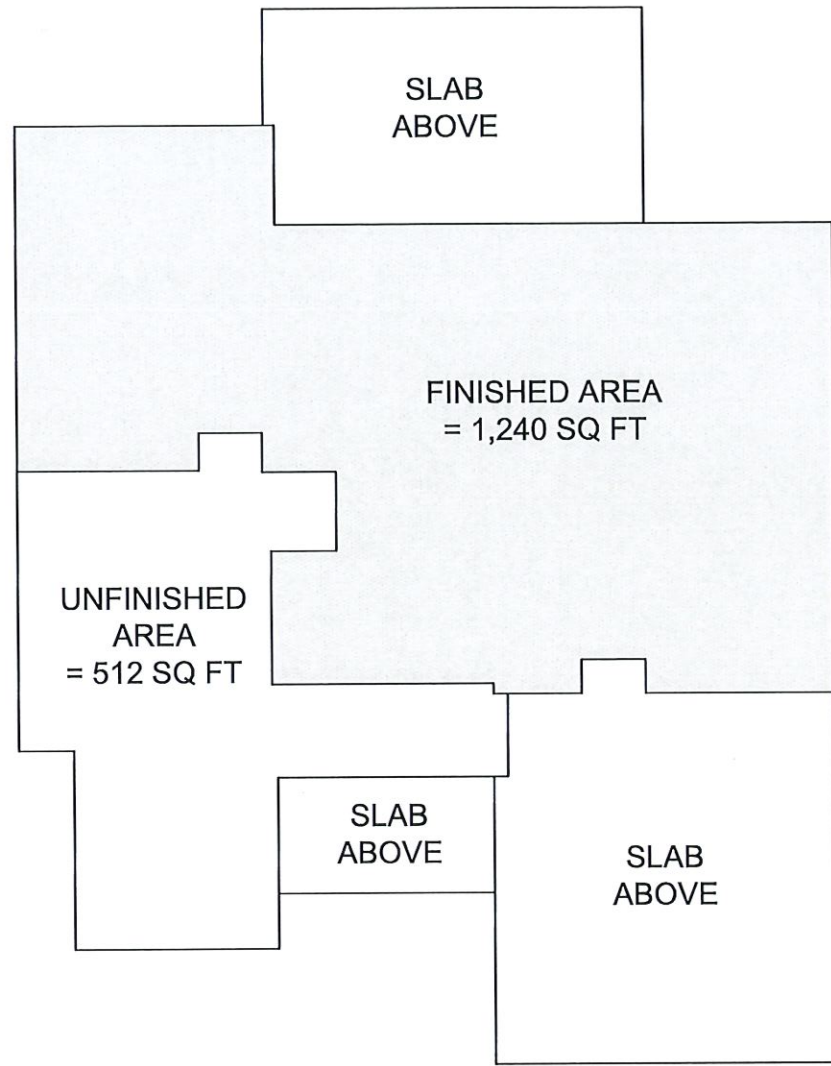
BENCHMARK HOMES
BENCHMARK HOMES
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CONTACT: JEFF BRINKMAN

JOHN S. ODOM, ARCHITECT
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THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

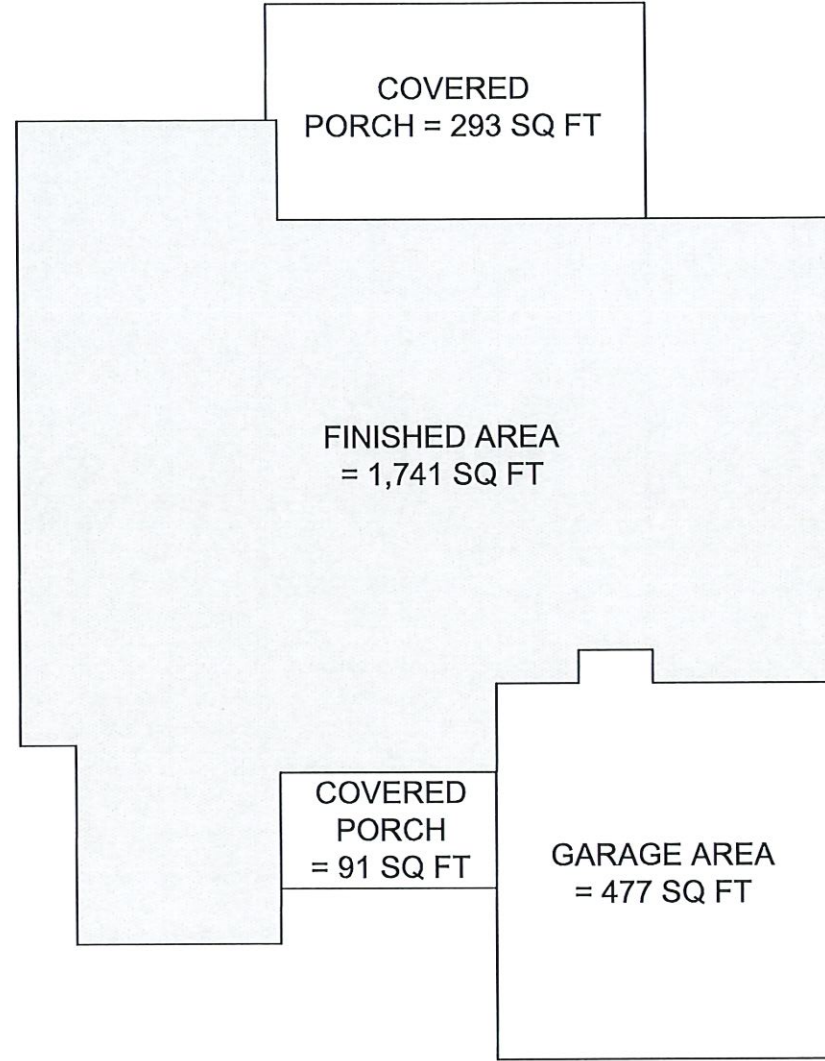
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DSD Date: 06/30/26
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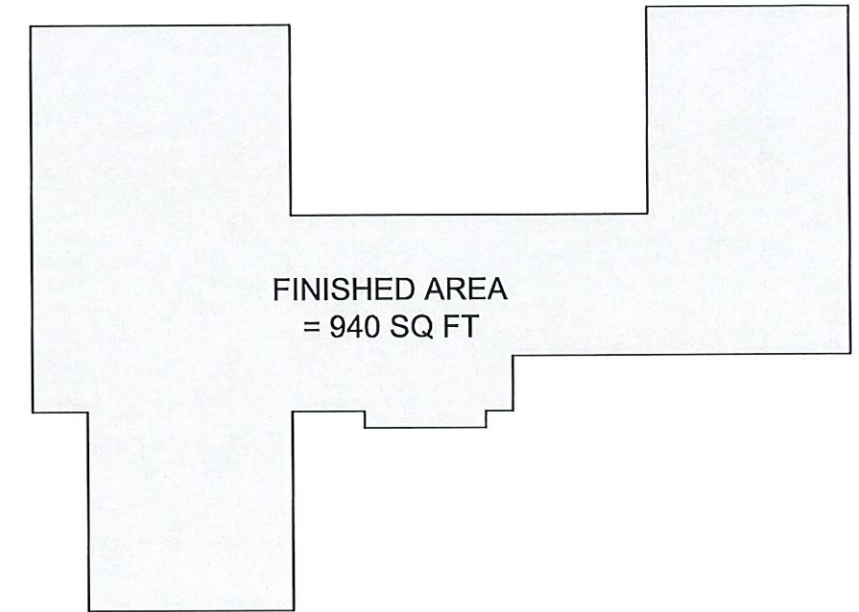




BASEMENT FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

LOT AREA = 9,766 SQ FT
 MAX FAR = 30%
 FAR = 2,929 SQ FT

1ST FLOOR FINISHED	=	1,741 SQ FT
1/2 OF ATTACHED GARAGE	=	239 SQ FT
2ND FLOOR FINISHED	=	940 SQ FT
 TOTAL	 =	 2,920 SQ FT
FAR %	=	29.8%

BASEMENT FINISHED	=	1,240 SQ FT
BASEMENT UNFINISHED	=	512 SQ FT
FRONT COVERED PORCH	=	91 SQ FT
REAR COVERED PORCH	=	293 SQ FT
 HOUSE HEIGHT	 =	 29' 9-7/16"

FLOOR AREA RATIO DIAGRAM

Metal Roof Color:
Copper Metallic Roof

Soffit and Fascia
Color: White

Gutter Color: Bronze
to match windows

LP Board and Batten
8" Color: Snowscape

Architectural Roof:
Owens-Corning
Shingle Color: Black
Sable

Double Hung
windows, Standard
Low E, Argon Gas,
Insulated Glass.
Window Color: Dark
Bronze 4/1 grill
pattern

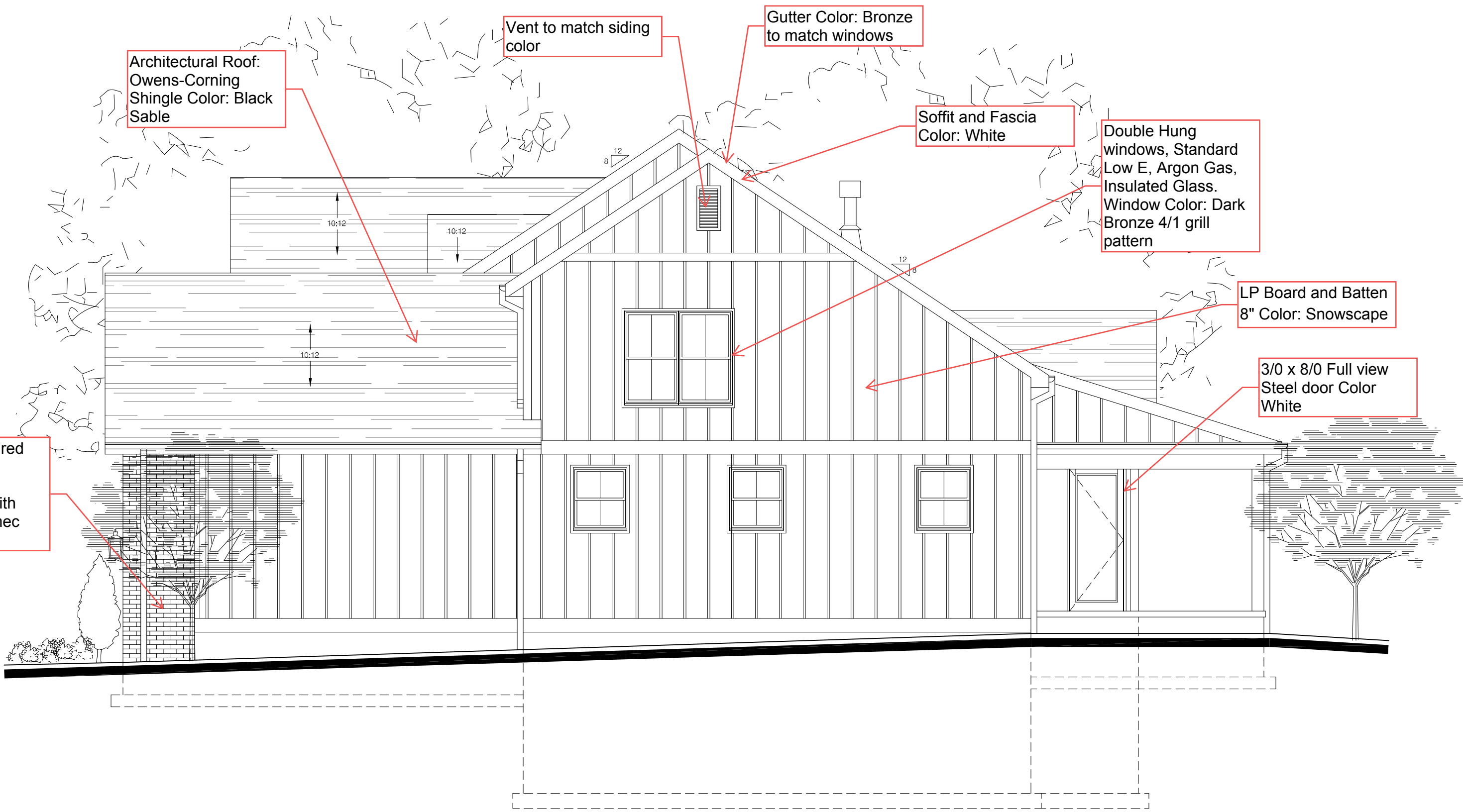
Masonry:
Cultured Brick
Per Plan
Color: Canvas
Mortar: Ivory
with Pre-Mix
Meramec
Sand



8"x 8" Wrapped
Permacast Columns
Color: Painted White

Front Entry Wood-Stained Double Door Per
Drawing: (2) 3'-0"x 8' x 0" Exterior Door Unit,
Low-E Glass, 3/4 Glass 4 Lite SDL Grilles
w/ Single Raised Panel
Front Door Color: Match to Garage Door.

16' x 8' Aluminum Wood Look Garage Door
Coplay, Overlay 16'x8' Canyon Ridge,
Chevron Garage Door
Color: Golden Oak



Architectural Roof:
Owens-Corning
Shingle Color: Black
Sable

Vent to match siding
color

Gutter Color: Bronze
to match windows

Soffit and Fascia
Color: White

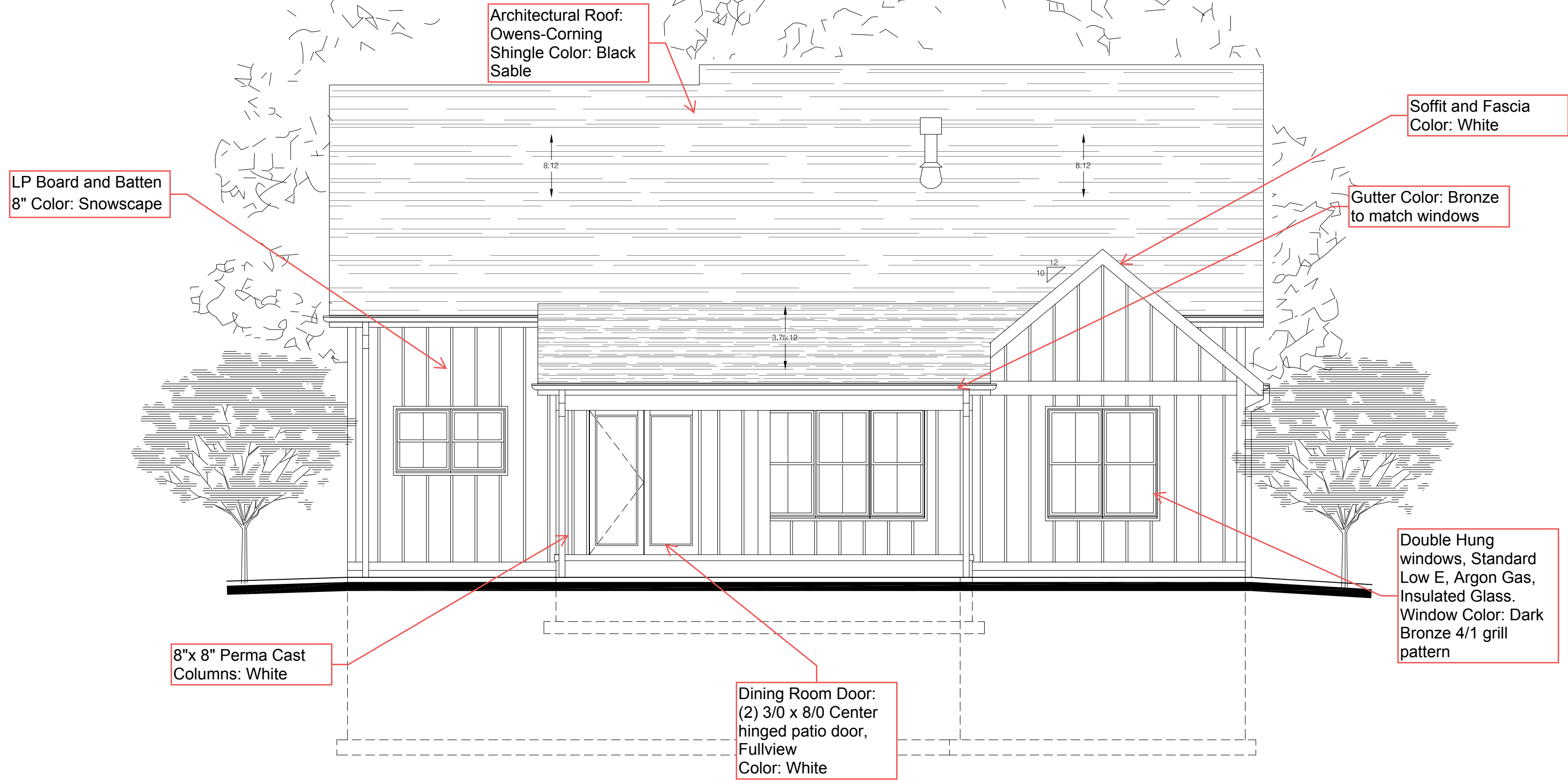
Double Hung
windows, Standard
Low E, Argon Gas,
Insulated Glass.
Window Color: Dark
Bronze 4/1 grill
pattern

LP Board and Batten
8" Color: Snowscape

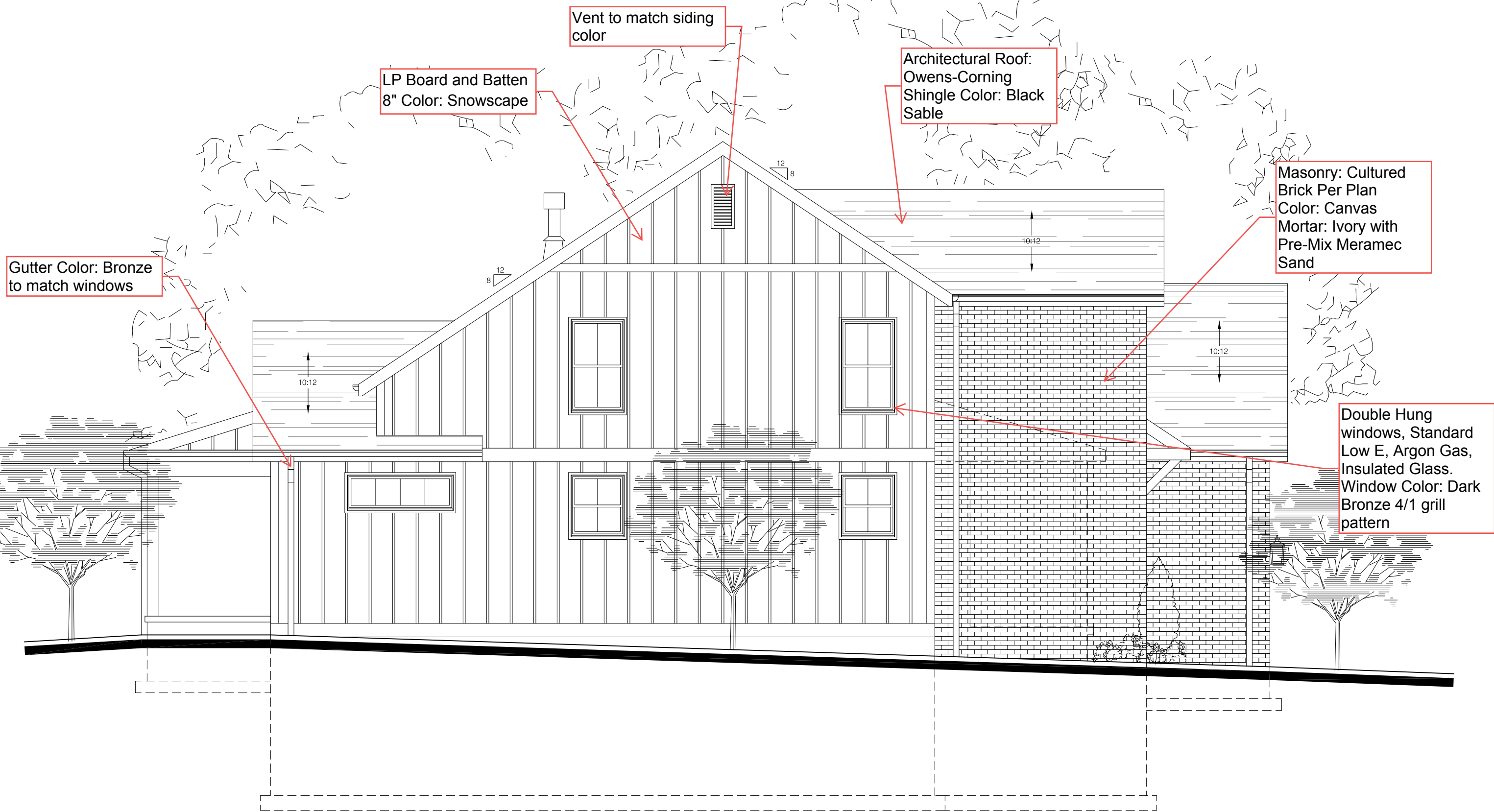
3/0 x 8/0 Full view
Steel door Color
White

Masonry: Cultured
Brick Per Plan
Color: Canvas
Mortar: Ivory with
Pre-Mix Meramec
Sand

RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



#1125

#1155

#1175

#1195

#25

HILLARD ROAD



#1116

#1136

#1156

#1176

#1196

#26

HILLARD ROAD

STREETSCAPE

1175 Front and Rear yard





1155 Front & Rear Yard



1195 Front & Rear Yard

